

BRIDGEND COUNTY BOROUGH COUNCIL

Bridgend Unitary Development Plan

SPG 02 HOUSEHOLDER DEVELOPMENT

DOCUMENT STATUS

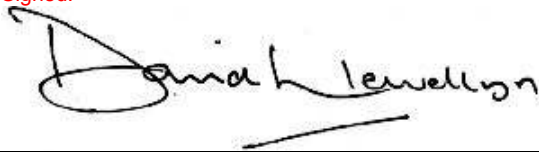
This document is Supplementary Planning Guidance related to the Bridgend Unitary Development Plan.

This issue has the status of

Adopted Supplementary Planning Guidance

Bridgend County Borough Council has formally adopted this document as supplementary planning guidance for the purposes of development control within the Bridgend County Borough Council area (11/12/2008, Minute No: 140).

Signed:



Date:

12 December 2008

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SPG 02 Householder Development Design notes - Summary

Residential amenity (neighbours)

NOTE 1 No extension should unreasonably dominate the outlook of an adjoining property. (EV45)

NOTE 2 No extension should unreasonably overshadow adjoining property. (EV45)

NOTE 3 Two-storey extensions, or first-floor extensions over existing single-storey elements, which are built up to the boundary with adjoining property are not advisable unless it is shown that they have no adverse effect on residential or visual amenity. (EV45)

NOTE 4 Extensions that overhang the boundary with adjoining property are not advisable unless it is shown that they have no adverse effect on residential or visual amenity. (EV45)

NOTE 5 An extension offering semi-independent accommodation should not form a separate dwelling unit and should be designed so that it can easily be re-integrated into the original house. (EV45)

NOTE 6 An extension should respect the privacy of neighbouring houses. (EV45)

NOTE 7 The construction or alteration of a boundary wall, fence, or gate should not compromise highway safety, and should respect the residential amenity of neighbours and the character of the dwelling and its context. (EV45)

Residential amenity (occupiers of the extended house)

NOTE 8 Any extension should leave an adequate garden area for private use around the house. (EV45)

NOTE 9 Off-street parking should be available to meet the County Borough Council's guidelines for a dwelling of the size after extension. (EV45)

NOTE 10 The design of an extension should accord with principles of sustainable development. (EV45)

Visual amenity

NOTE 11 The form, materials, and details of extensions and alterations should match or harmonise with those of the existing house. (EV45)

NOTE 12 An extension should be in scale with the existing dwelling. (EV45)

NOTE 13 Any extension to a dwelling in the countryside should be modest in size and be clearly subordinate to the original building. (EV1, EV7, EV45)

NOTE 14 Dormer extensions should be sympathetic to the existing house in their shape, position, scale and material. (EV45)

NOTE 15 Roof lights should be sympathetic to the existing house in their shape, position, scale and design. (EV45)

NOTE 16 No side extension should have a design that, if repeated on adjoining property, would create the appearance of terraced housing. (EV45)

NOTE 17 A side extension to a semi-detached property should respect the original symmetry of the pair of buildings. (EV45)

NOTE 18 Front extensions that come forward of a definable building line, including porches, should be designed to the highest standard in recognition of their prominence in the street scene. (EV45)

NOTE 19 An extension built on a sloping site and which is visible from the street or other public area should be related to the slope rather than being imposed upon it. (EV45)

NOTE 20 Solar panels (for water heating or solar electricity generation) should be sympathetic to the existing house in their shape, position, scale and design. (EV45, U1)

NOTE 21 Wind turbines attached to or within the curtilage of residential property should be subservient to the dwelling and should not adversely affect the amenities of neighbours (EV45, U1)

NOTE 22 The construction of an extension should be compatible with the preservation of any environmentally important trees. (EV20, EV21, EV45)

NOTE 23 Garages and outbuildings should be sited and designed so as to complement the existing house and to ensure there is no adverse effect on adjacent properties. (EV45)

Historic buildings

NOTE 24 Any extension to a listed building, or building of local architectural or historic interest, must be compatible with the protection of the special architectural and historic interest of the building. (EV31, EV33, EV34, EV45)

Conservation areas

NOTE 25 Any extension to a dwelling in a conservation area must be compatible with the preservation or enhancement of the character or appearance of that conservation area. (EV31, EV38, EV45)



1. INTRODUCTION

1.1 This guide is one of a series prepared by the County Borough Council. It is about the design of extensions and alterations to detached, semi-detached, or terraced houses, and bungalows. It is intended to help anybody thinking of improving their home or anybody designing that work. The guide sets out objectives that define what is likely to be acceptable and gives greater detail in a series of advice notes.

1.2 Not all alterations and extensions require planning permission. There are, however, many restrictions and conditions that may affect whether a particular proposal is permitted development. The nature of permitted development, and the restrictions and conditions, may change as the legislation is revised. Therefore, **it is strongly recommended that building work should not commence until a professional opinion on the need for planning consent has been given.**

1.3 Even if planning permission is not required, these guidelines may be helpful. A well-designed alteration or extension can enhance the value of a house, while a poorly designed one could make it difficult to sell. The guidelines can also suggest how a permitted development extension should be designed so that it can be later enlarged in a way that may be granted planning permission.

1.4 The Planning Department can, in response to a written request, offer advice to householders as to whether planning permission is required for proposed work. As well as the letter asking whether planning permission is necessary the County Borough Council also needs the following:

- (a) The full postal address of the property
- (b) A brief description of the proposal
- (c) A block plan to show the location of the proposal in relation to the house and garden boundaries
- (d) A floor plan showing the existing and proposed work, with dimensions.
- (e) Elevations showing the existing and proposed work, with dimensions.
- (f) The dimensions and position of any existing garage/outbuildings within 5 metres of the property
- (g) Either confirmation that there have been no previous enlargements of the house, or the dimensions (length, width, and height) of any existing enlargements (including porches, extensions and conservatories).

1.5 Any letter from the County Borough Council advising that planning permission is not required should be kept for reference, as it may be helpful at the time the house is sold. The opinion is not, however, legally binding. If it is necessary to confirm that a development is lawful, an application can be made for a Certificate of Lawfulness.

1.6 If planning permission is required, the Planning Department can give informal advice as to whether a particular proposal is likely to be granted planning permission. This advice, however, is for assistance only. Officers can make no commitment on behalf of Bridgend County Borough Council to a particular decision on any future planning application. The decision on any planning application must take account of other information and representations that are revealed as a result of the planning process.

1.7 If the property to be altered or extended is within a conservation area, permitted development rights are restricted. In certain conservation areas, where an Article 4 direction is in force, even minor alterations to the exterior of a property may require planning permission. Trees within a conservation area also have a measure of protection. It is usually necessary to give the local planning authority six weeks notice in writing of any proposed work to such trees.

1.8 If the property to be extended has a special historic or architectural character it may be a Listed Building. This gives it special protection under planning laws. Listed building consent from the County Borough Council will be needed for any alterations, extensions and other works that affect the character of the Listed Building, externally and internally.

1.9 Individual trees, groups of trees, and woodlands that are considered to have an outstanding public amenity value in the local area are protected by Tree Preservation Orders (TPO). If works affect a protected tree, permission from the County Borough Council will be required in advance of the commencement of work.

1.10 Some houses may hold roosts of bats, which are protected by law. If it appears that proposed work may disturb bats or their roosts the Countryside Council for Wales¹ should be contacted for their advice on how to proceed. In addition, all birds are protected whilst they are nesting and should not be disturbed during the nesting period.

1.11 Whether or not planning permission is required for an extension, building regulation approval is likely to be necessary. This is to ensure that the development will be structurally sound and will comply with the relevant regulations. Early discussion with the Building Control Officers of the County Borough Council is recommended. Approval under the building regulations is a separate procedure from planning permission. It is not covered by this document.

1.12 If any work is undertaken without obtaining the necessary permissions the unauthorised development may have to be put right at considerable inconvenience and cost. Unauthorised work that damages a listed building or that causes harm to protected wildlife may be a criminal offence.

1.13 This advice has been prepared in part as a response to unsatisfactory extensions that have been constructed in the past. While the existence of such an extension in the vicinity of a proposal will be taken into account it will not automatically provide a precedent for the approval of a similar poor design in the future. These guidelines represent a material change in planning circumstances in relation to house extensions in the County Borough.

1.14 It should be remembered that every house has a reasonable limit for extension. There is a point where any further addition would be an unacceptable over-development of the site.

1.15 This booklet is for guidance. It is not a rulebook. While planning applications for householder development will be considered in relation to the objectives and advice notes, the particular circumstances of a proposal will always be important. Occasionally those circumstances may outweigh the advice of this supplementary planning guidance, either for or against the proposal.

2. AIMS AND OBJECTIVES

2.1 This supplementary planning guidance is one of a series prepared by Bridgend County Borough Council. It is topic-based supplementary planning guidance in accord with paragraph 4.3 of Planning Policy Wales Technical Advice Note 12 'Design'. It sets out the local planning authority's expectations in support of the policies of the adopted Bridgend Unitary Development Plan as recommended by paragraph 2.9.10 of Planning Policy Wales 2002. The advice notes develop the policies of the Bridgend Unitary Development Plan in detail. Each advice note is followed by a reference to the most relevant policies of that Plan

2.2 The supplementary planning guidance series has three main aims. They are:-

1. To make clear the Local Planning Authority's expectations for the design of development, and to ensure the consistency of advice to developers.
2. To encourage, as a consequence, development of a high design standard that will result in a benefit in environmental and landscape terms.
3. To reduce the need for revision of the design of proposals, and thus to increase the speed of the determination of planning applications.

2.3 The supplementary planning guidance series has five secondary aims. These clarify the criteria for judging the design of a development. The secondary aims are:

- A. To create a positive area image, a sense of local identity.
- B. To ensure the integration of development into the surrounding area.
- C. To ensure the protection, and enhancement, of the landscape or the townscape.
- D. To ensure the protection and enhancement of the appearance or character of areas of special interest or character.
- E. To ensure the protection and enhancement of the residential amenity of people living in the vicinity of, or who will live in, a development.

2.4 This supplementary planning guidance for householder development has eight specific objectives. They are:

- a. To ensure that proposed work does not dominate adjoining property. (See Advice Notes 1, 2, 3, 4, 5, 6, 7, 16, 17 & 18.)
- b. To ensure that an extension does not actually or potentially constitute a new, independent dwelling unit. (See Advice Note 5.)

- c. To ensure that an extended dwelling retains an adequate private garden. (See Advice Note 8.)
- d. To ensure that an extension does not lead to additional on-street parking. (See Advice Note 9.)
- e. To ensure that the extension embodies principles of sustainability in its design and construction. (See Advice Notes 10, 20, & 21.)
- f. To ensure that the development does not dominate the existing dwelling, and is visually compatible with it and its general surroundings. (See Advice Notes 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, & 23.)
- g. To ensure that environmentally important trees are protected. (See Advice Note 22.)
- h. To ensure that the development is compatible with the preservation of buildings or areas of architectural or historic interest. (See Advice Notes 24 & 25.)

3. ADVICE NOTES

3.1 The County Borough Council aims to safeguard residential and visual amenity. Residential amenity affects neighbours and the future occupants of the extended house. Visual amenity includes the effects of the extension on the appearance of the house and the neighbourhood.

3.2 The following advice notes are grouped in accord with the concern to which they are mainly related. The categories are not exclusive. Notes aimed at safeguarding residential amenity may also have a beneficial effect on visual amenity, and vice versa.

EXTENSION DIRECTLY TOWARDS A HABITABLE ROOM WINDOW: DOMINANCE AND OVERSHADOWING

1

Extension does not intrude on daylight protection zone, but at less than 10.5 metres from habitable room window it would be unreasonably dominating.



2

Extension intrudes on daylight protection zone, and on 25 degree visual intrusion line: it would adversely affect light and would be unreasonably dominating.



3

Extension does not intrude on daylight protection zone, or on the 25 degree visual intrusion line: it would neither adversely affect light nor would it be unreasonably dominating.



Fig. 2

4. RESIDENTIAL AMENITY (Neighbours)

4.1 Note 1: No extension should unreasonably dominate the outlook of an adjoining property. (EV45)

4.1.1 While there is no right to a view, some extensions can appear unreasonably dominant and overbearing when seen from neighbouring houses. Whether or not a proposed extension will be compatible with the residential amenity of neighbouring property will usually need to be assessed on the merits of the individual proposal.

Factors to be taken into account include:

- (a) the shape and size of the extension;
- (b) its distance from, and alignment with, overlooking windows;
- (c) whether the site is higher or lower than the neighbouring house.

4.1.2 Unreasonable domination is an issue only where a main window to a habitable room² in an adjacent dwelling will directly overlook a proposed extension. In addition, for unreasonable domination to be demonstrable, the extension must be either:

- (a) higher than a line, perpendicular to the window wall, rising at 25 degrees to the horizontal from the mid-point of the affected windows, or
- (b) closer than 10.5 metres to the window.

4.1.3 It is emphasised that this is only a general indicator of the possibility of dominance. It is not a rigid definition of unreasonable dominance. It mainly relates to the outlook from existing habitable room windows in the front or rear of an adjacent house. The indicator can also apply to sideways facing windows in rear extensions although caution in its application is necessary. Some flexibility may be justified if an extension is essential to provide basic facilities to an older terraced property.

4.1.4 Some terraced property was originally designed with side-facing windows in rear extensions that depend on the mirrored space of the neighbouring garden for light and a sense of space. A two-storey extension filling in the whole plot is likely to result in undue dominance and overshadowing.

4.1.5 If an extension which infringes the guidance relating to dominance of adjacent property is proposed, the design statement³ should explain why the applicant believes that the development will not damage the residential amenity of the property affected.

OVERSHADOWING			
<p>Detached, Semi-detached, and modern terrace housing, where extension is perpendicular to the window wall.</p>			<p>EXTENSION DOES NOT INTRUDE ON DAYLIGHT PROTECTION ZONE EITHER IN PLAN OR ELEVATION</p> <p>4</p>
			<p>EXTENSION INTRUDES ON DAYLIGHT PROTECTION ZONE IN PLAN BUT NOT IN ELEVATION</p> <p>3</p>
			<p>EXTENSION INTRUDES ON DAYLIGHT PROTECTION ZONE IN ELEVATION BUT NOT IN PLAN</p> <p>2</p>
			<p>EXTENSION INTRUDES ON DAYLIGHT PROTECTION ZONE BOTH IN PLAN AND IN ELEVATION</p> <p>1</p>

Fig. 3

4.2. NOTE 2: No extension should unreasonably overshadow adjoining property. (EV45)

4.2.1 A poorly-designed extension can reduce daylight and sunlight to an unreasonable extent. Neighbouring houses and their gardens can be made gloomy and unattractive. In the worst cases rights to light may be infringed.

4.2.2 The assessment of loss of light is comprehensively covered by the Building Research Establishment Report 'Site Layout Planning for Daylight and Sunlight - A Guide To Good Practice' (1991). Based on that report the following guidelines are given as an indication of possible overshadowing problems.

4.2.3 A habitable room window in an adjoining property may be adversely affected in terms of daylight if a new extension that it faces subtends an angle of more than 25 degrees above the horizontal. (The angle is measured from the centre-point of the existing window in a plane perpendicular to it. In the case of patio doors the angle is measured from a height of 2 metres.)

4.2.4 A habitable room window may be adversely affected by an adjoining extension whose nearest wall is perpendicular to the window if the extension intrudes on daylight protection zones defined by lines drawn at 45 degrees from the mid-point of the window on plan and elevation. Note that if the extension intrudes only on plan, or only on elevation, the reduction in skylight received by the window is unlikely to be significant.

4.2.5 Sunlight is most important in main living rooms and conservatories in adjoining dwellings and can affect the usefulness of garden areas. Substantial loss of sunlight due to a new extension of an adjoining property can seriously affect residential amenity. An extension that is situated within 90 degrees of due south of an adjoining property may affect the sunlighting of that property, depending on its height, size, and proximity.

4.2.6 Proposals for the extension of terraced properties should be designed to minimise overshadowing. Some flexibility in the amount of overshadowing considered reasonable for terraced houses may be justified for extensions essential for the provision of basic facilities.

4.2.7 Providing the information necessary to assess overshadowing with the application can help ensure a quick decision. The application should therefore show the adjacent properties and identify on plan and elevation the habitable room windows likely to be affected by the proposed development. Site layout plans should clearly show a north point.

4.2.8 If an extension which infringes the guidance relating to overshadowing is proposed, the design statement should explain why the applicant believes that the development will not damage the residential amenity of the property affected.

4.3 NOTE 3: Two-storey extensions, or first-floor extensions over existing single-storey elements, which are built up to the boundary with adjoining property are not advisable unless it is shown that they have no adverse effect on residential or visual amenity. (EV45)

4.3.1 This note is also intended to prevent the unreasonable imposition of an extension on neighbouring property. A two-storey extension built close to the site boundary can have an overbearing impact on the adjoining property.

4.3.2 Where there is a need for the provision of basic facilities for an older terraced house there may be a justification for building up to the boundary. Generally however, it is recommended that at least 50cm, and preferably 1 metre, be left between an extension and the boundary of the site. This allows for access for construction, finishing, and maintenance. It also helps to limit the visual dominance of an extension, which might otherwise be unacceptably overbearing for neighbours. The County Borough Council has also found that building on the property boundary is a major source of neighbour disputes. These may be reduced by leaving a gap.

4.3.3 If an extension that will be built up to the site boundary is proposed, the design statement should explain why the applicant believes that there is no alternative form of extension and that the development will not damage the residential amenity of the property affected.

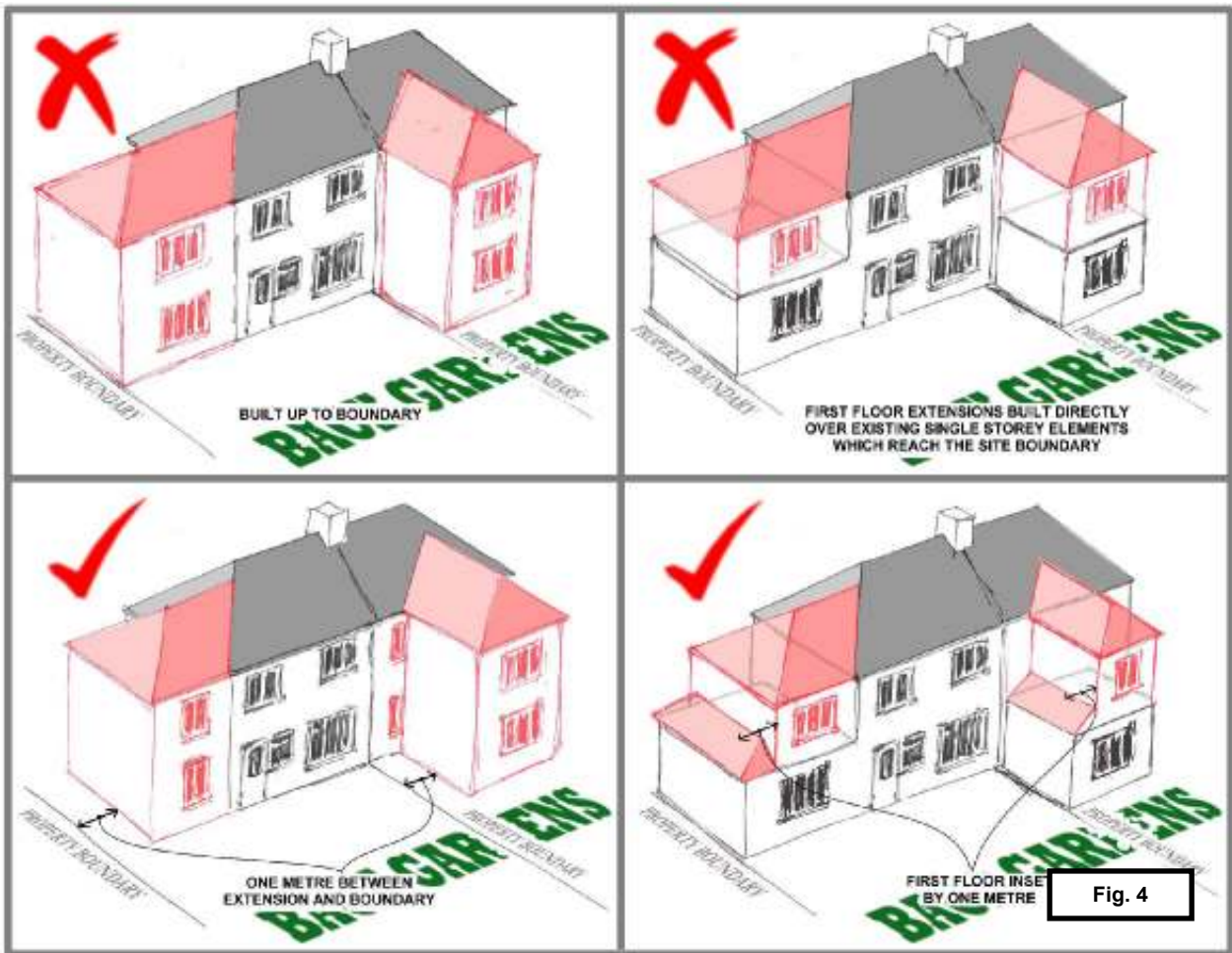
4.3.4 Anyone proposing an extension that approaches or is built up to the site boundary must take account of the provisions of the Party Wall etc Act 1996. This Act puts in place a framework of notifications, and agreements between neighbours to ensure that development can take place without detriment to adjoining owners.

4.4 NOTE 4: Extensions that overhang the boundary with adjoining property are not advisable unless it is shown that they have no adverse effect on residential or visual amenity. (EV45)

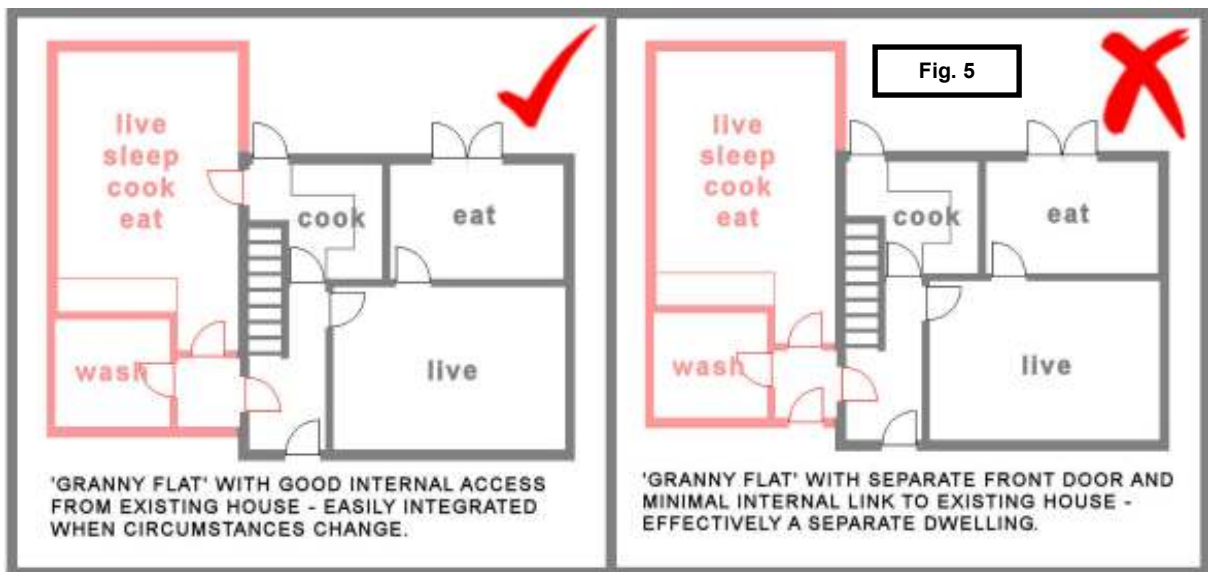
4.4.1 Although it is possible, with the consent of the adjoining landowner, to build an extension such that the eaves and gutters overhang neighbouring property, it is rarely satisfactory. It could limit the opportunities for extending the adjacent property, it makes maintenance difficult, and it can be the cause of disputes.

4.4.2 If an extension that will overhang the site boundary is proposed, the design statement should explain why the applicant believes that the extension cannot be contained within the curtilage of the property being extended, and why it will not damage the amenity or development potential of the property affected. Applicants should also take care to ensure that the correct Certificate of Ownership⁴ is completed, and that notice is served on the owner of the adjoining property.

4.4.3 As noted above, the provisions of the Party Wall etc Act 1996 must be satisfied.



4.5 NOTE 5: An extension offering semi-independent accommodation should not form a separate dwelling unit and should be designed so that it can easily be re-integrated into the original house. (EV45)



4.5.1 A common reason for house extensions is the need to accommodate elderly relatives in need of occasional care. The County Borough Council will try to consider

such proposals favourably provided that the extension is well integrated, does not form a separate dwelling, and does not conflict with other guidance notes.

4.5.2 Extensions forming separate dwelling units are normally unsatisfactory because of the difficulty of creating an adequate curtilage for the additional dwelling unit. If family circumstances change and the extension is no longer inhabited by a family member, there can be loss of privacy and disturbance from additional traffic.

4.5.3 In the countryside, an extension that forms a separate dwelling is particularly unacceptable, because of the strong policy constraint on new houses in rural areas. In the countryside the new accommodation should be of small size (see Note 12) and be carefully designed to be very easily re-used as part of the original dwelling house when family circumstances change.

4.6 NOTE 6: An extension should respect the privacy of neighbouring houses. (EV45)

4.6.1 A sense of privacy within the house and a freedom from overlooking in at least a part of the garden are aspects of residential amenity. The County Borough Council is concerned that new house extensions should not unreasonably diminish those qualities in nearby housing.

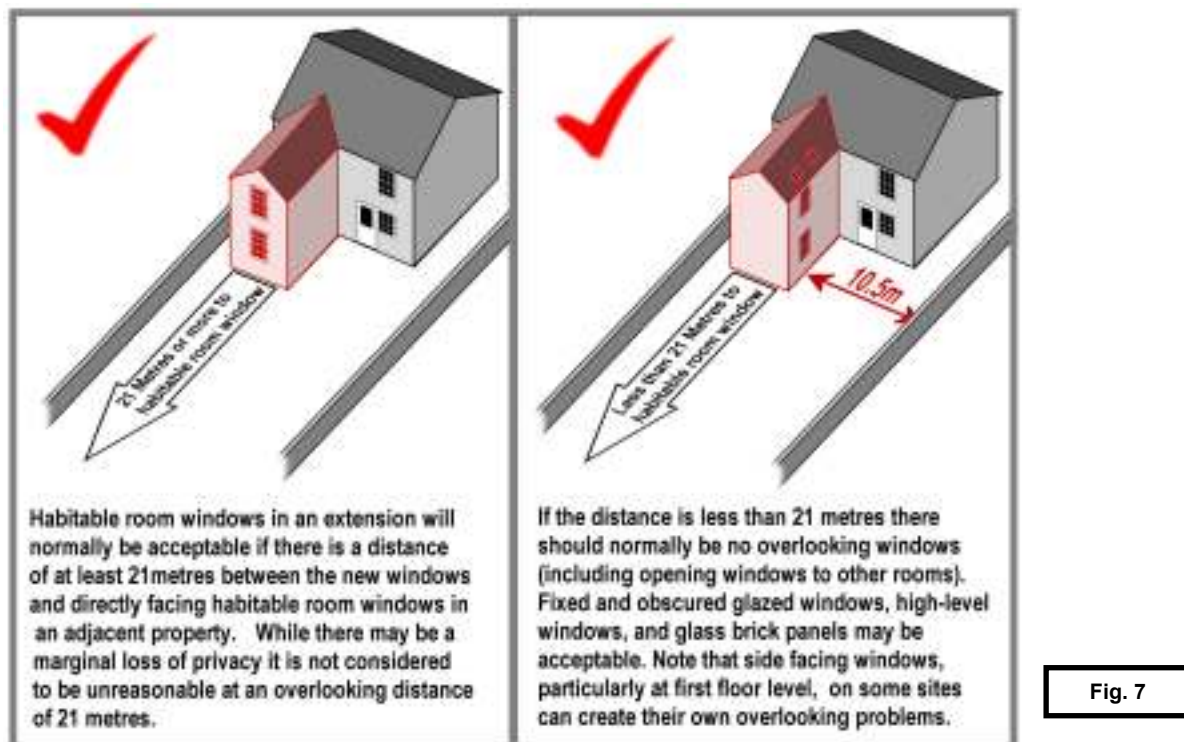
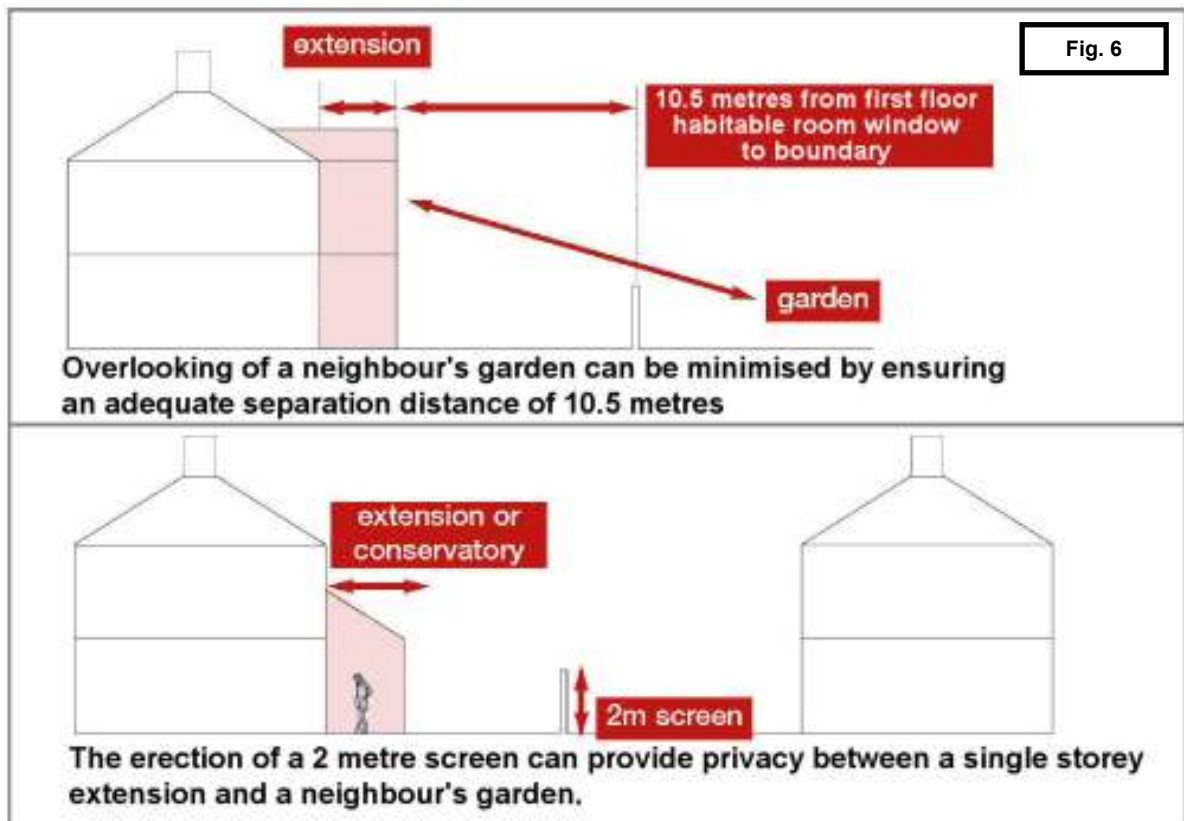
4.6.2 The County Borough Council believes that the minimum distance between directly facing habitable room windows in adjacent properties should normally be 21 metres. Reductions may be acceptable where:

- (a) permanent screening can be provided between facing ground floor windows;
- (b) the overlooking is between windows fronting on to a highway where established building lines are less than 21 metres apart;
- (c) the overlooking is between windows fronting on to a public space where the buildings are used to define spatial enclosure;
- (d) the angle of overlooking between windows is not direct, allowing the distance between windows to be reduced as the angle between them is increased;
- (e) the overlooked window is a secondary window⁵;
- (f) either the overlooked or overlooking window is high level⁶, or is permanently obscured glazed and fixed – usually appropriate only if there is a second clear-glazed and opening window serving the same room.

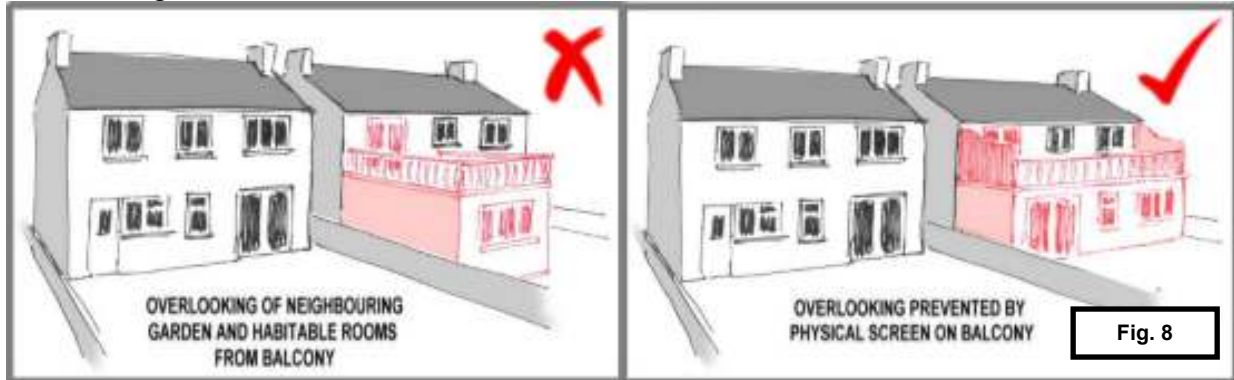
If the extended building is on higher land than the overlooked building, the minimum overlooking distance may need to be increased to maintain the privacy of the latter.

4.6.3 Two-storey extensions to the rear of houses can affect privacy if first-floor habitable room windows overlook the backs of adjacent properties. To reduce the loss of privacy it is recommended that the minimum distance from the new habitable room window to the boundary should be 10.5 metres, increasing to 12 metres if the window is to a first floor living room, because of the extended day-time occupancy of such a room.

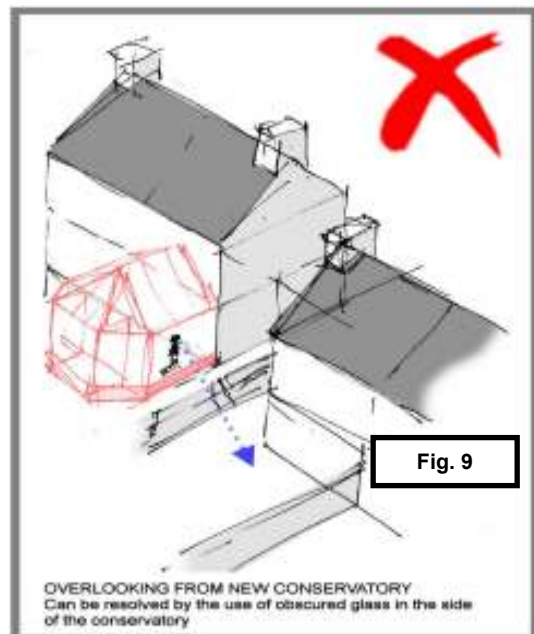
4.6.4 Single-storey extensions, ground floor habitable room windows, and conservatories can be closer to the property boundary without detriment to privacy depending on the arrangement of windows and boundary screen fencing or hedging.



4.6.5 While few rear gardens are entirely private some features can create a sense of unreasonable overlooking in neighbouring property. Balconies often cause the greatest difficulty, but sideways facing windows can also be undesirable. If a balcony is proposed it should be located or screened to prevent or minimise overlooking.



4.6.6 Overlooking from conservatories can also be a problem, particularly if the conservatory is elevated. This problem may be resolved by the use of obscured glazing in the side panels of the conservatory.

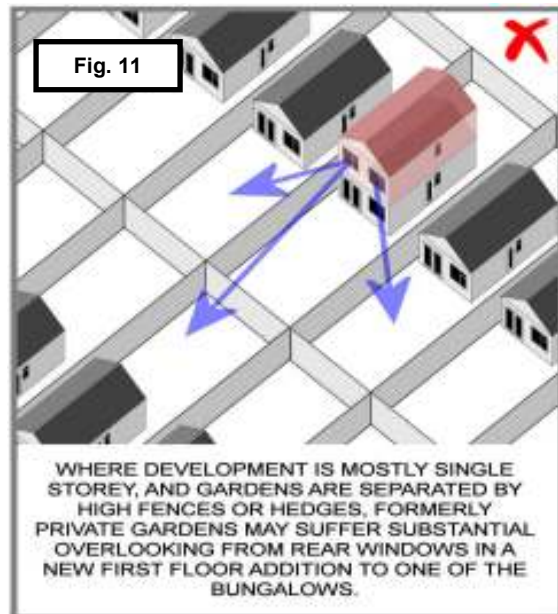


4.6.7 Additions to the rear of houses occasionally result in proposals to light existing rooms by adding windows in the side walls of the house. Such windows can result in overlooking of neighbouring houses and gardens. Very occasionally a side window may be accepted if there is no other solution to a design problem, but it should be designed to permanently prevent overlooking. (Any proposed solution to the problem of lighting a habitable room without causing over-lookng must comply with the Building Regulations.

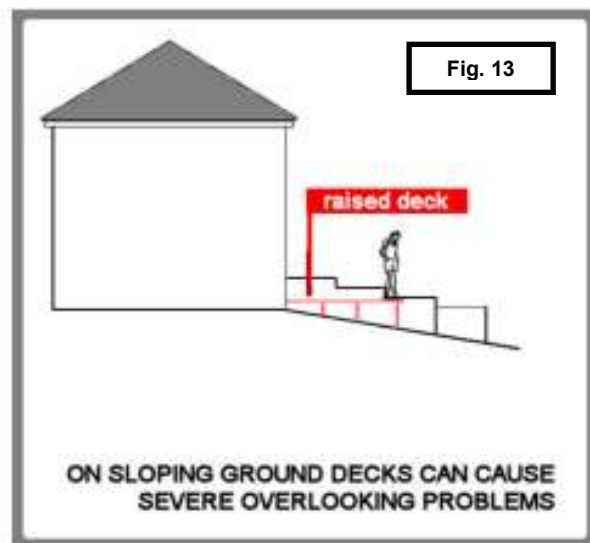
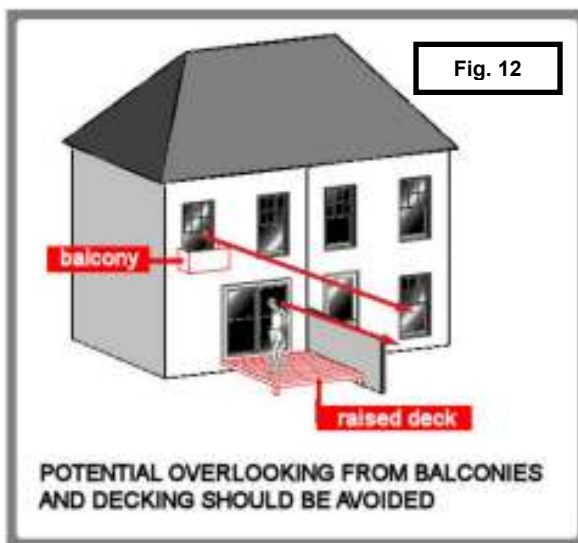
The Local Planning Authority will be reluctant to approve any application for consent to alter a planning permission to make a proposal meet the Building Regulations if the result is the loss of privacy to a neighbour.)



4.6.8 In certain areas of single-storey development, the privacy of rear gardens may be a significant element of residential amenity. If a first floor can only be added by raising the roof, it may not be acceptable to include windows looking down on to adjoining gardens. (If the bungalow roof is high enough to allow a loft conversion without an increase in height, it may be possible to add windows to the rear roof slope as permitted development. Any such proposal should be discussed with the planning department, because permitted development is subject to limitations.)



4.6.9 Raised decking can affect privacy. If it is next to the property boundary, decking that is higher than 300mm above ground level can be a source of overlooking problems even if there is a 2 metre high screen fence. On sloping ground decking can result in a severe loss of privacy in adjoining houses.



4.6.10 There are circumstances in which decking requires planning permission. It is therefore recommended that any proposal is discussed with the Local Planning Authority prior to construction.

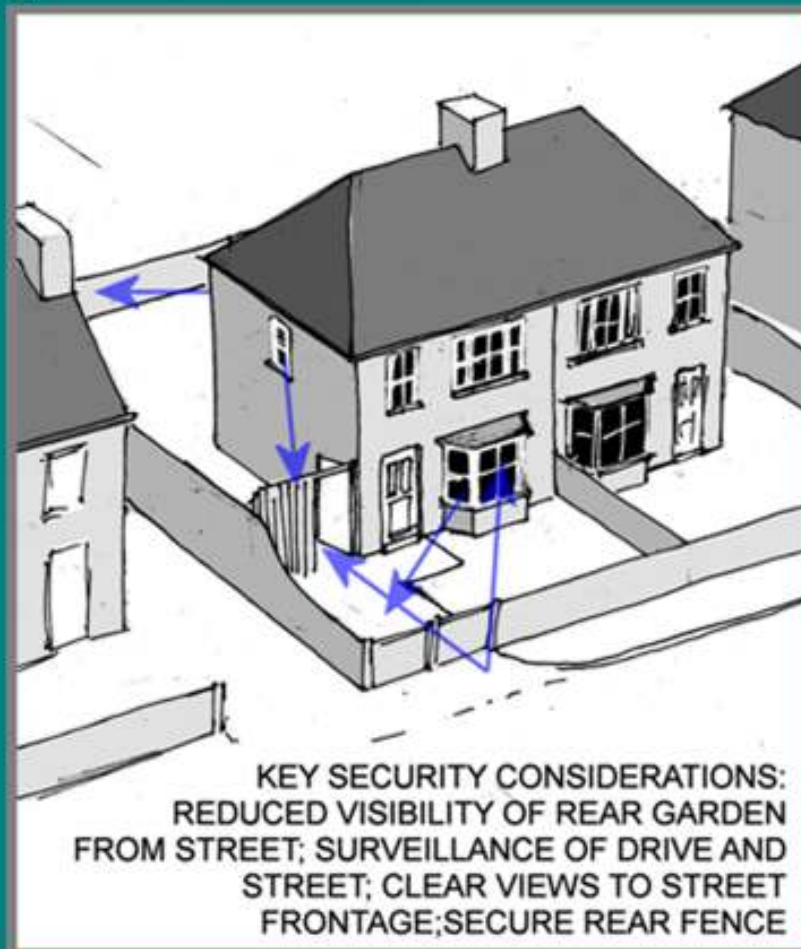
4.6.11 The design statement accompanying a planning application should explain what measures have been undertaken for the avoidance of loss of privacy in adjacent dwellings. Photographs and/or diagrams identifying habitable room windows in adjacent properties will help in the determination of the planning application.

CRIME PREVENTION

Fig. 14

An important aspect of the residential amenity of the occupier of a house is the sense of security that comes from crime prevention measures. Bridgend County Borough Council is obliged to encourage design that reduces crime by section 17 of the Crime and Disorder Act. Householders are therefore encouraged to consider crime prevention when undertaking work to their houses. The following simple and often inexpensive measures can reduce the chance of becoming a victim of crime.

- Good surveillance discourages burglary or theft. There should be good vision from the house on to the street, the driveway, and the gardens. Careful positioning of windows can help achieve such surveillance.
- If possible the parking area should be overlooked from the house.
- There should be a good view of the house from the street, with a low boundary at the front to allow a clear view of the front door.
- The rear garden, however, should have a wall or fence at least 1.8 metres high, with lockable side entrances.
- Dusk to dawn automatic lighting surrounding the property will deter burglars. Care needs to be taken to ensure that light pollution of neighbouring property is avoided.
- Doors and windows should be securely fitted with locks that meet British Security Standards (BS3621 for locks, BS7950 for windows, and PAS24-1 for doors).
- Consideration should be given to the fitment of a good quality burglar alarm, which is a proven deterrent.



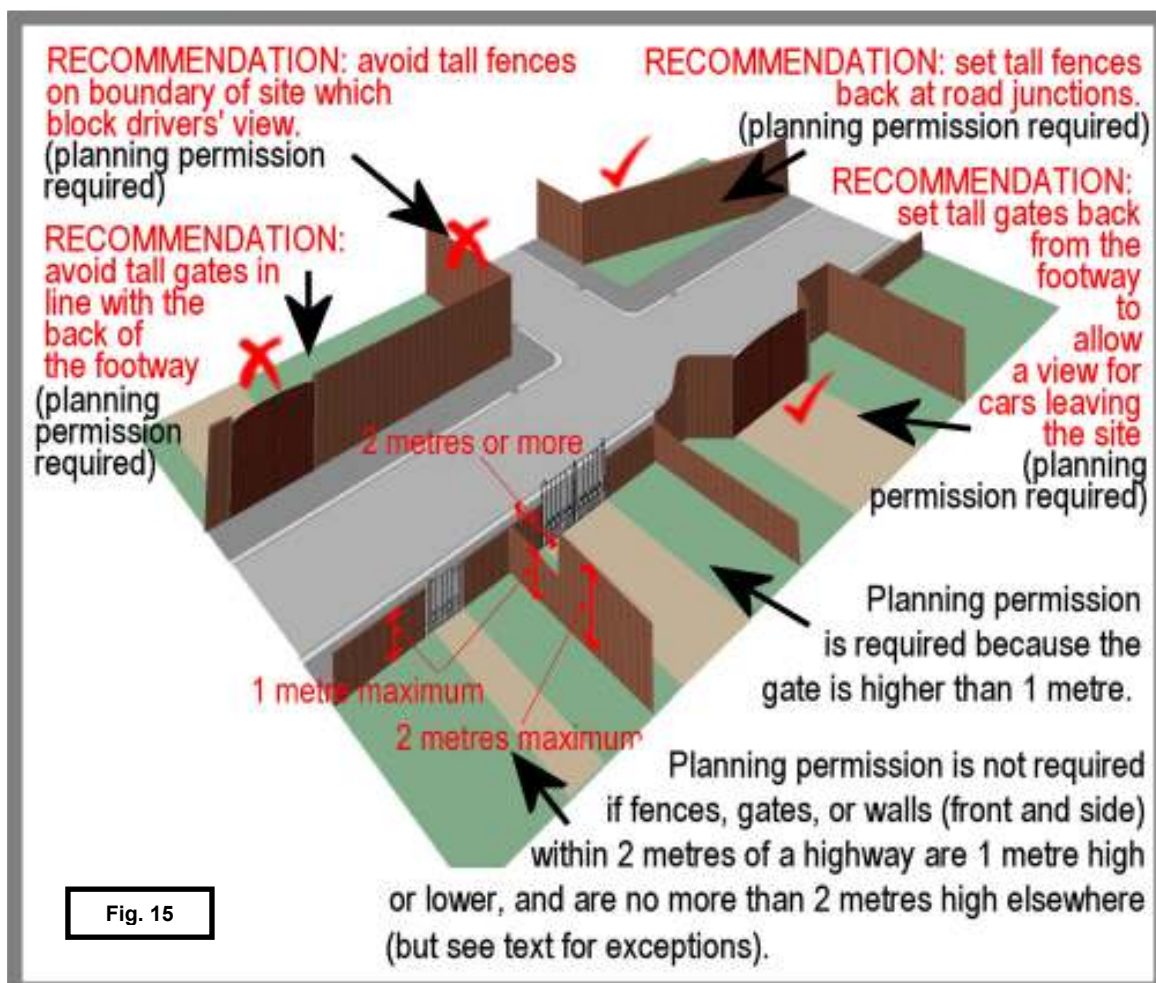
The Home Office has published the comprehensive documents "A Guide to Home Security" (www.crimereduction.gov.uk/cpghs.htm) and "An Introduction to Domestic Surveying" (www.crimereduction.gov.uk/learningzone/homesurvey.htm?fp), both available at the Home Office website

4.7 NOTE 7 The construction or alteration of a boundary wall, fence, or gate should not compromise highway safety, and should respect the residential amenity of neighbours and the character of the dwelling and its context.

4.7.1 In the following section the term 'boundary enclosure' is used to include walls, fences, and gates. Planning permission is normally needed for the erection or the addition to the height of a boundary enclosure if it is:

- an obstruction to the view of users of any highway used by vehicular traffic such that there is a likely risk of danger to those people.
- higher than 1 metre after the work, where it is adjacent to a highway (adjacent to a highway includes all walls within 2 metres of any part of a highway, including pavements and highways maintained verges);
- higher than 2 metres after the work elsewhere;
- within the curtilage of, or surrounding, a listed building, or forming a boundary with the curtilage of a listed building;
- in an area where the right to erect or alter walls, fences, or gates has been removed by an Article 4 direction or a condition on a planning permission.⁷

(All heights are measured from the natural/original ground level on which the means of enclosure is erected)



4.7.2 Planning permission is not needed for demolition of any boundary enclosure, unless its retention is required by a condition of a planning permission. Conservation area consent may be required for demolition if it is within a conservation area. Listed building consent may be required if it is within the curtilage of, or attached to, a listed building. It is recommended that any proposed demolition in a conservation area or adjacent to a listed building be discussed with the Local Planning Authority in advance.

4.7.3 Planning permission is not needed for planting or removing a boundary hedge. When planting a hedge, however, it is prudent to consider the future growth and maintenance liabilities of the species chosen. Bridgend County Borough Council may become involved if an overgrown hedge causes unreasonable loss of light to neighbouring property, under the provisions of the High Hedges Regulations 2003. Before removing (or pruning) a hedge, consideration should be given to legislation protecting trees (note 22) and wildlife (Wildlife and Countryside Act 1981, as amended)

4.7.4 Whether or not formal consent is required it is good practice to consider the impact of constructing or altering a boundary enclosure on highway safety, on neighbours, and on the neighbourhood generally. These are the main issues that will be considered when an application for planning permission is considered.

4.7.5 The proposed or altered boundary enclosure must not obstruct the view of highway users, or of the driver leaving the enclosed site. The boundary enclosure may need to be set back from the actual boundary, reduced in height, or splayed at the site entrance, to ensure that there is not an adverse effect on safety. Gates should not open out on to the footway or carriageway, where they would be an obvious hazard.

4.7.6 Barbed wire or broken glass topping for boundary enclosures should not be used. While it might seem only justice that only intruders run the risk of serious injury, children, who may know no better, can suffer as well.

4.7.6 The proposed boundary enclosure should not unduly overshadow an adjacent property, block light to its windows or unreasonably dominate an outlook from its main habitable rooms.

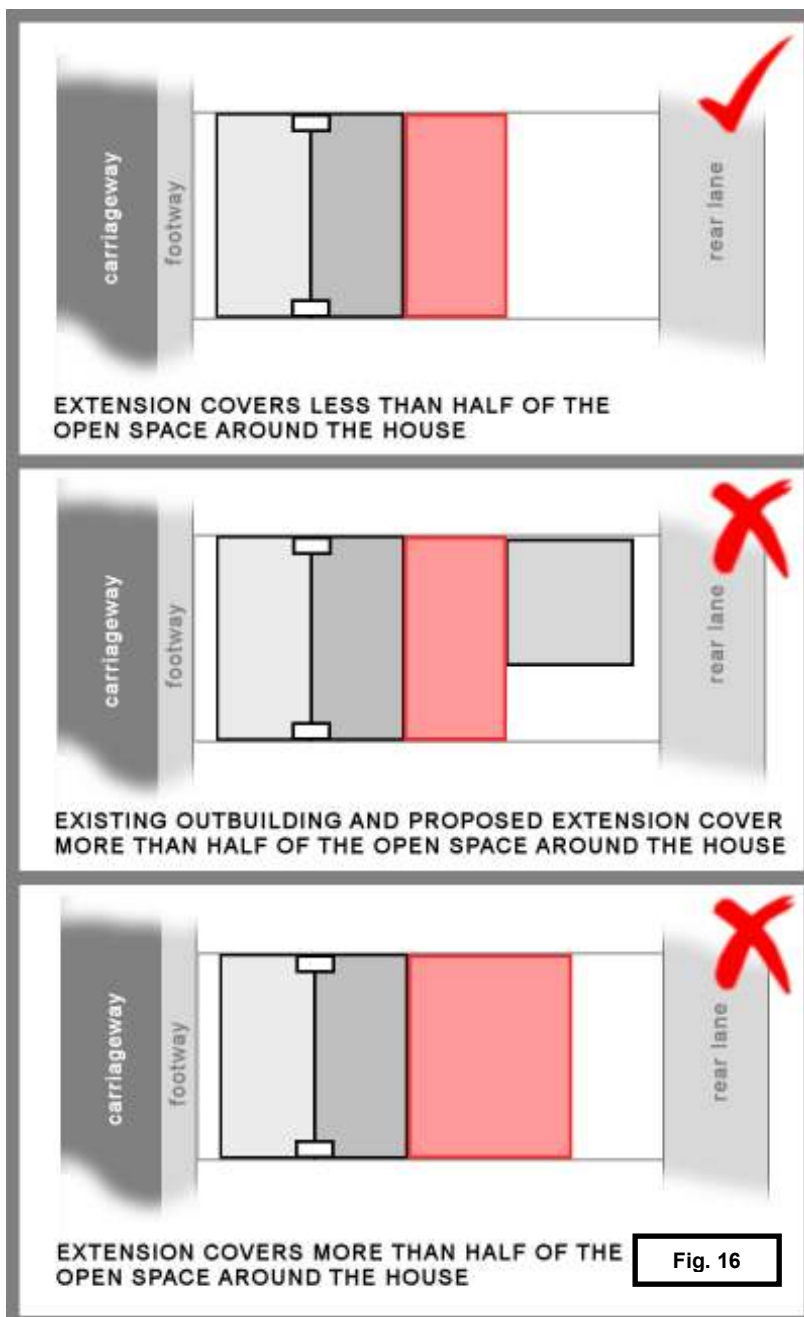
4.7.7 The proposed boundary enclosure should be compatible with the character of the house or the area. Its appearance should offer a character and quality appropriate to its prominence, as determined by its location and scale. Special attention to materials and design is needed in conservation areas or adjacent to listed buildings.

5. RESIDENTIAL AMENITY (Occupiers of the extended house)

5.1 NOTE 8: Any extension should leave an adequate garden area for private use around the house. (EV45)

5.1.1 While an individual may accept a window box as sufficient garden space the County Borough Council believes that generally there should be a reasonable private outdoor area for enjoyment of the present and future households. An extension that covers more than 50% of the private outdoor area can be considered as overdevelopment. If the extension is added to, or creates, a family house (one having 3 or more bedrooms) a proportionally larger garden area may be appropriate to facilitate children's play.

5.1.2 Thought needs to be given to the shape and location of space left after the construction of the extension. Narrow or inaccessible patches of ground are of little amenity and are undesirable.



5.2 NOTE 9: Off-street parking should be available to meet the County Borough Council's guidelines for a dwelling of the size after extension. (EV45)

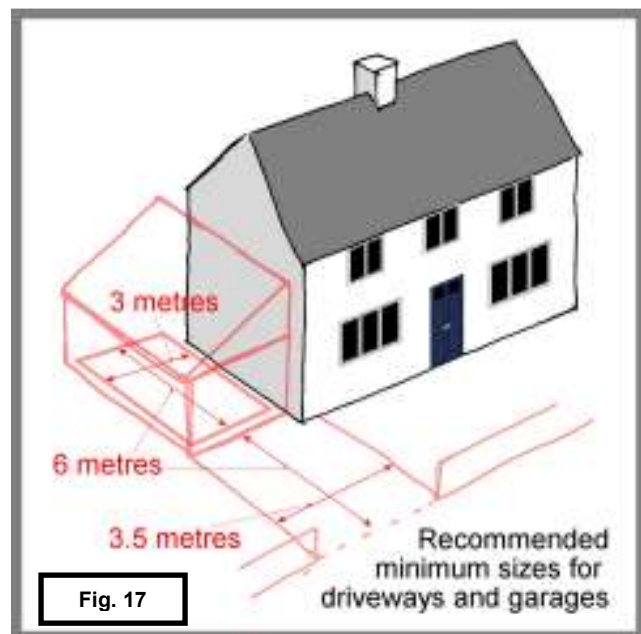
5.2.1 On-street parking is an inconvenience for the occupier of the extended house and can be a hazard for users of the highway. It is therefore the County Borough Council's view that extensions should generally be acceptable only where the amenity of off-street parking can be provided to the same standard as for a new dwelling.

5.2.2 There is a particular concern that some side extensions to semi-detached houses have used one or more car parking spaces, leaving only one space in the forecourt of the dwelling. The consequence is a significant potential increase in on-street parking.

5.2.3 If forecourt parking is proposed, efforts should be made to soften the hardstanding by planting trees, shrubs, or other greenery around the parking bays. Porous surfaces (e.g. pavement blocks, porous asphalt, or grasscrete) are recommended. (Although gravel is a porous surface, the loose stones can be hazardous if transferred to the highway. Loose gravel surfaces should not, therefore, be used any closer than 5 metres to the highway.) Porous surfaces allow water to permeate into the ground. Non-porous surfaces (e.g. concrete or conventional tarmac) force rain water to run off into drains and make flooding worse.

5.2.4 To be counted as a parking space in the assessment of the adequacy of off-street parking, a parking bay should be at least 4.8 metres long and 2.6 metres wide.

5.2.5 If a garage is proposed it should offer a practical parking space for the majority of private cars. To be counted as a parking space in the assessment of the adequacy of off-street parking the garage should have a clear internal space at least 3 metres wide by 6 metres long. Where possible the garage width should be increased to 3.8 metres to make disabled use practical.



5.2.6 The driveway in front of a garage should normally be at least 6 metres long and 3.5 metres wide. The length gives room for a car to pull off the highway before the garage door is opened. The width allows the driver to get out on to a hard surface. The driveway also provides an additional parking space that can be counted towards the total parking provision.

5.2.7 The minimum acceptable clearance between a proposed garage and the highway is 1 metre, or 0.5 metres if a roller door is used. These dimensions are most likely to relate to the provision of garages in the rear gardens of terraced housing. A further constraint is the need for sufficient clearance between the opposite side of the lane and the garage to allow cars to turn. The minimum recommended clearance is 6 metres. This may be reduced to 5 metres if the garage is set back 1.5 metres from the edge of the lane and 45 degree splays are provided to each side.

5.2.8 Emerging parking standards relate parking requirement to number of bedrooms, at a rate, in the majority of circumstances, of one parking space for one bedroom, subject to a maximum requirement of three parking spaces. Wherever possible that parking should be provided within the curtilage of the dwelling.

5.2.9 Reductions from the parking guidelines standard may be acceptable where:

- (a) The extension is essential to provide modest enlargement and basic facilities to older terraced properties.
- (b) The adjacent highway can accommodate parking without creating or exacerbating congestion or traffic hazards.
- (c) The property is sustainably sited close to local community facilities and with good access to public transport and safe routes for cycling and walking.

5.3 NOTE 10: The design of an extension should accord with principles of sustainable development. (EV45)

5.3.1 Sustainable development "meets the needs of the present without compromising the ability of future generations to meet their own needs"⁸. Policy EV45(8) and (9) of the Bridgend Unitary Development Plan require development to be sustainable. The design of an extension is an opportunity to consider ways of making provision for:

- (a) Sustainable materials. Wherever possible, use should be made of recycled or reclaimed materials, or materials secured from local renewable sources.
- (b) Timber preservation, damp proofing, and paint. Consider using products or processes that restrict the use of harmful chemicals.
- (c) Energy conservation. The extension should meet the highest standards of insulation, and its construction can be an opportunity to install the most efficient heating system. If the extension is a conservatory include provision to close it off from the main living rooms to minimise winter heating costs.
- (d) Low emission transportation. Include space for the storage of bicycles, and, if possible design the extension to allow occasional working from home.
- (e) Solar design and renewable energy. Aim to achieve an orientation and internal layout that allows the use of passive solar gain, and natural ventilation. Consider putting the main habitable rooms on the south of the building, with windows shaded from full summer sun where this can be done without compromising privacy. Maximise daylighting for the development and protect it for adjacent buildings. Consider fitting solar water heating panels or photovoltaic tiles. (See notes 20 & 21.)
- (f) Water conservation. Recycle grey water and harvest rainwater.



**SUSTAINABILITY - 'GREEN ROOF' AND TIMBER
CONSTRUCTION FOR EXTENSION. (CENTRE
FOR ALTERNATIVE TECHNOLOGY,
MACHYNLLETH, POWYS)**

Fig. 18

- (g) Sustainable Drainage. If ground conditions are suitable use porous paving to minimise rainwater run-off from hard surfaces.
- (h) Waste Storage. There should be space for internal or external storage of waste, including sufficient space for waste separation and recycling.
- (i) Demolition and re-use. If the work includes demolition, efforts should be made to re-use material on site.
- (j) Planting. Tree or shrub planting should be considered. In addition, green roofs could be a part of the design.
- (k) Ecological enrichment. Wherever possible the design should incorporate details that encourage nesting birds, bats, or other valued wildlife.
- (l) Crime prevention. The extension should avoid creating vulnerable or concealed accesses.
- (m) Access for all. Consider the needs for wheelchair users or the frail. If possible, provide space for prams to be manoeuvred and stored. Include details and colours that are helpful to the partly sighted.

5.3.2 For any one development not all sustainability issues will be relevant or achievable. They should, however, be taken into account at an early stage in design. More detailed advice can be found in SPG 12 'Climate Neutral Development'. Although the contribution any one scheme can make to global sustainability may seem vanishingly small, it is the cumulative effect of small decisions on which the future quality of life depends.

5.3.3 Sustainable design can have consequences for visual amenity. Note 20 makes suggestions to minimise those consequences.

5.3.4 The design statement should explain how the extension accords with relevant principles of sustainable development. Reference should always be made to the 'access for all' issue.

Fig. 19



Linear extension unbalances symmetrical facade and draws attention to the slight mis-match of materials.



By setting the extension back from the face of the building the change of material is made less jarring and the symmetry of the original building is respected.

6. VISUAL AMENITY

6.1 An extension can adversely affect visual amenity in two ways. Firstly, if the form, materials and details are inappropriate it can so jar against the appearance of the existing house that the enlarged building becomes an eyesore, attracting attention to itself by its unfortunate appearance. A series of such extensions can also damage the appearance of a neighbourhood, weakening and ultimately destroying any sense of place. Secondly, even if materials, form and details were respected, an area characterised by the spaciousness of its housing can become congested and cramped in appearance, if houses are over-extended and jostle each other for space.

6.2 In its guidance notes aimed at safeguarding visual amenity the County Borough Council recommends the achievement of harmony between the extension and the existing building. There is an alternative view that an extension should contrast with the existing building to emphasise its difference, and that it is 'of today'. While not wishing to stifle good imaginative design the County Borough Council does not generally favour that view. More often than not it seems to lead to unfortunate, rather than uplifting, extensions. The designer of a scheme that does not accord with the following guidance notes is strongly advised to discuss his proposal with Officers of the Planning Department before submission. It is also essential to explain the reasoning behind the choice of style in the design statement accompanying the application.

6.3 Of the following guidance notes, numbers 11 to 15 indicate the matters taken into account in assessing the effect of a proposed extension on the appearance of the existing house. Notes 16 to 19 indicate the matters taken into account in assessing the effect of a proposed extension on the appearance of the neighbourhood.

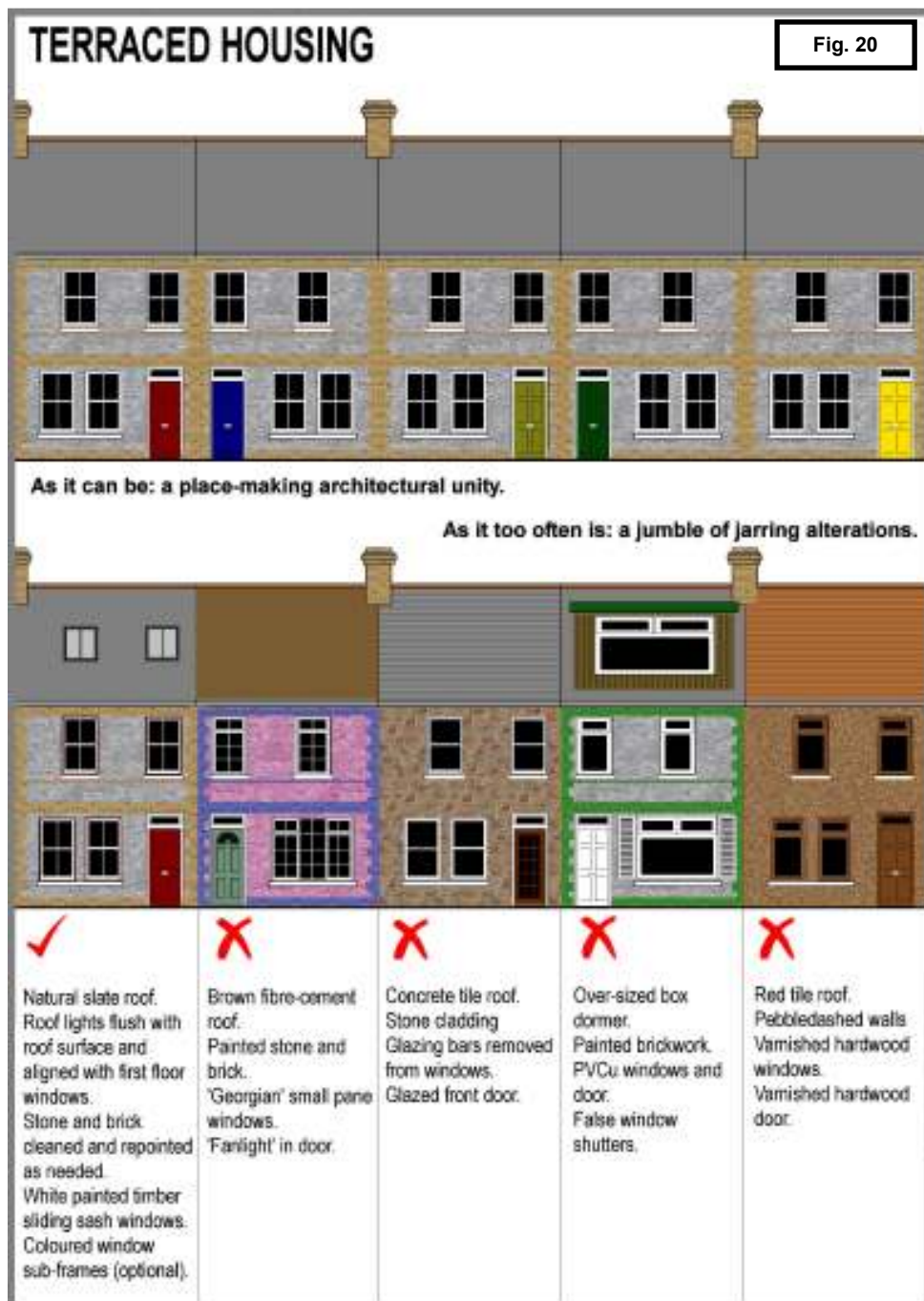
6.4 NOTE 11: The form, materials, and details of extensions and alterations should match or harmonise with those of the existing house. (EV45)

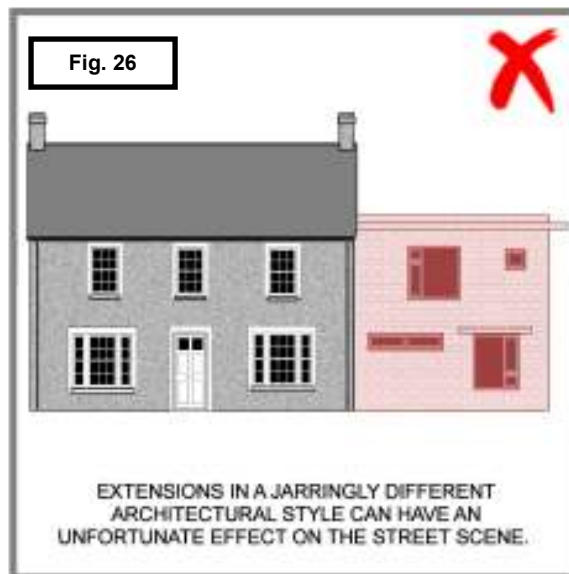
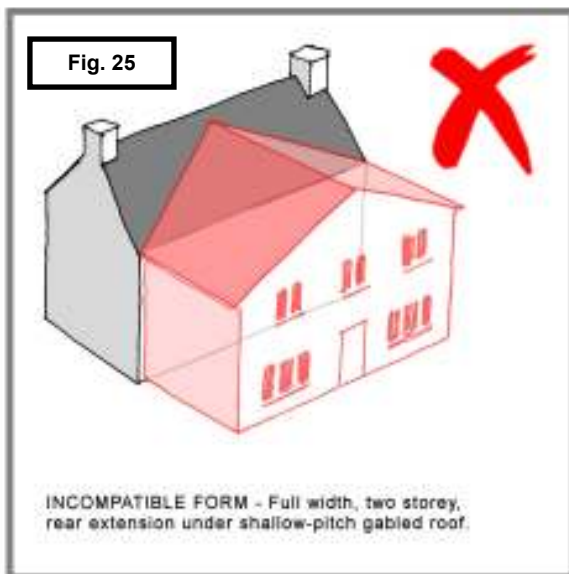
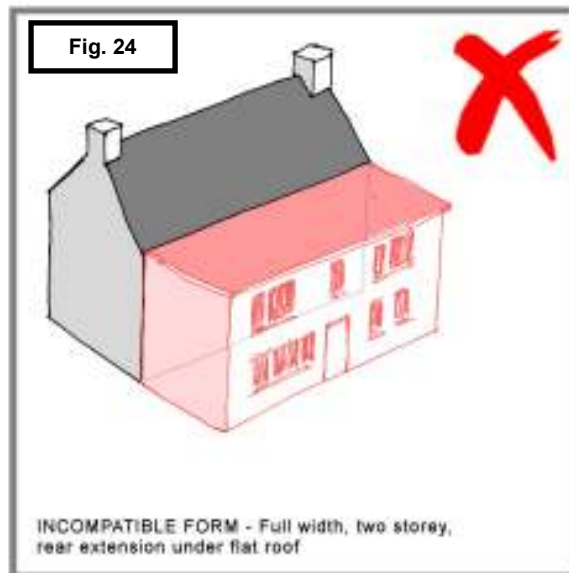
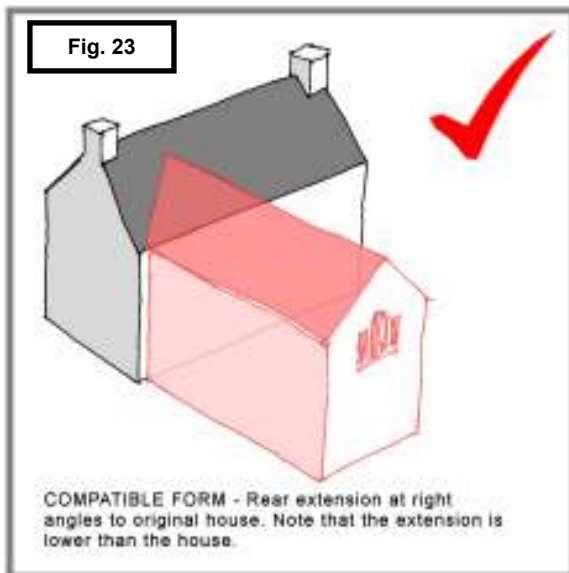
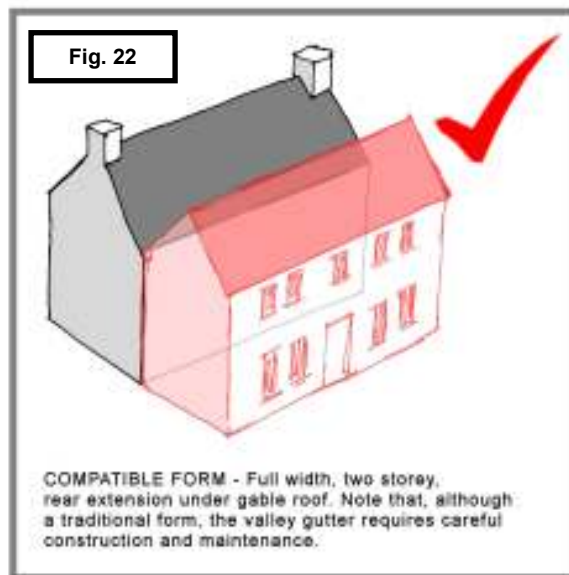
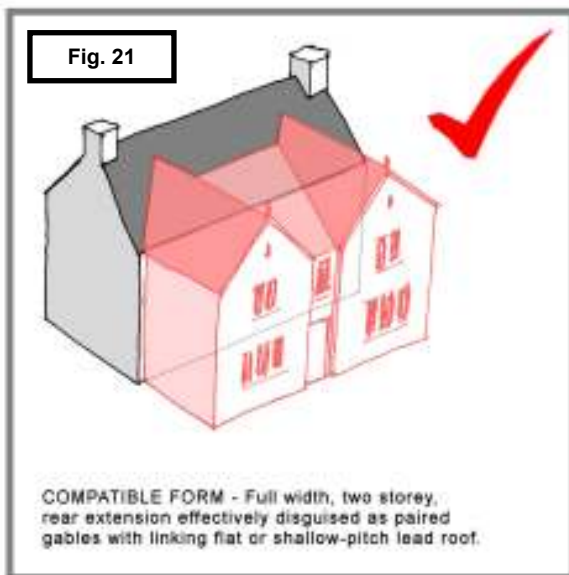
6.4.1 A house usually has a character of its own, derived either from the imagination of its designer or from the exercise of traditional building skills and techniques. A good extension will reinforce that character by appearing to be a natural part of the building.

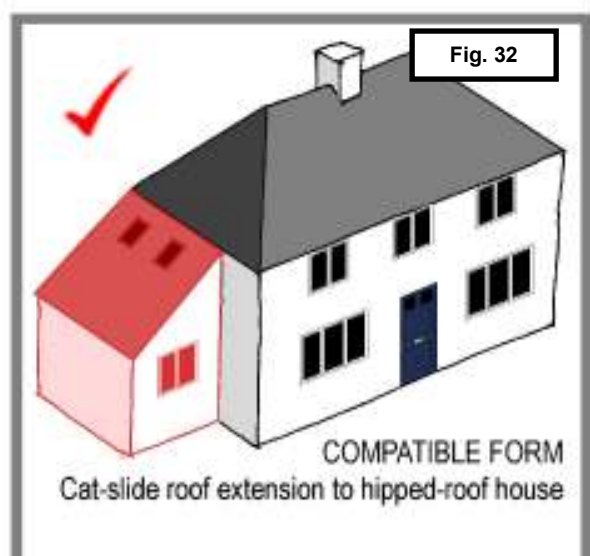
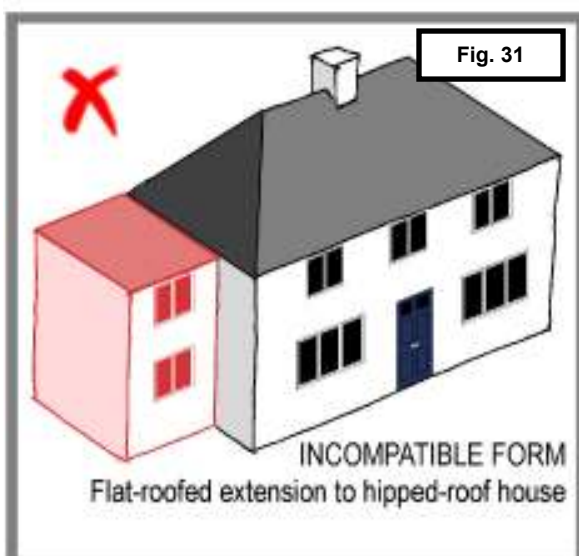
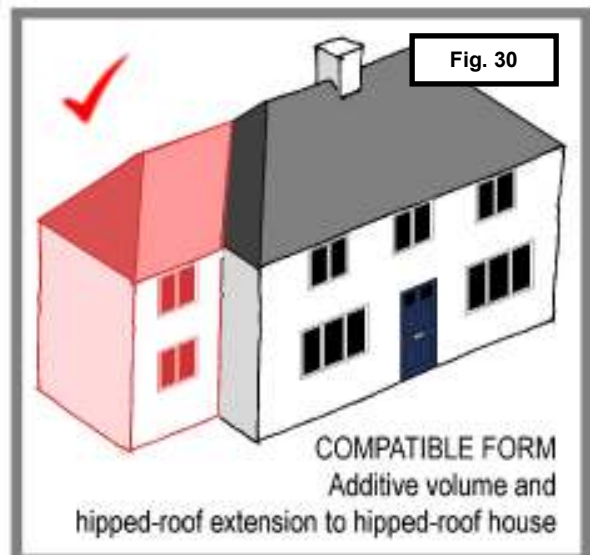
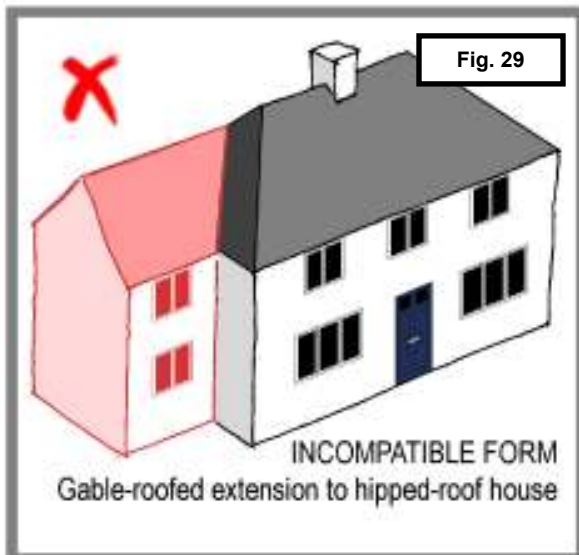
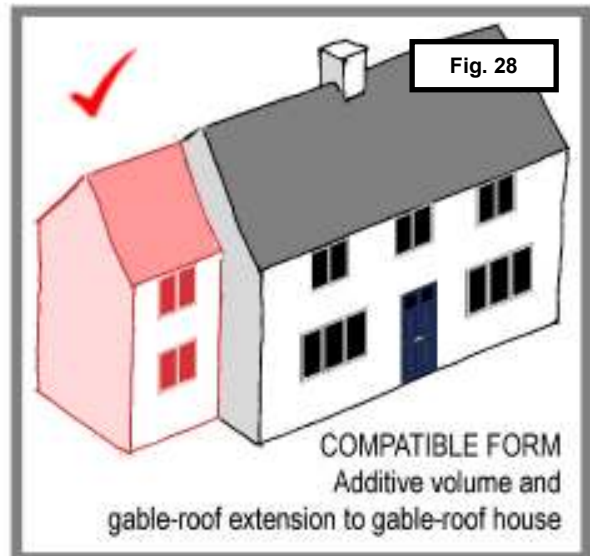
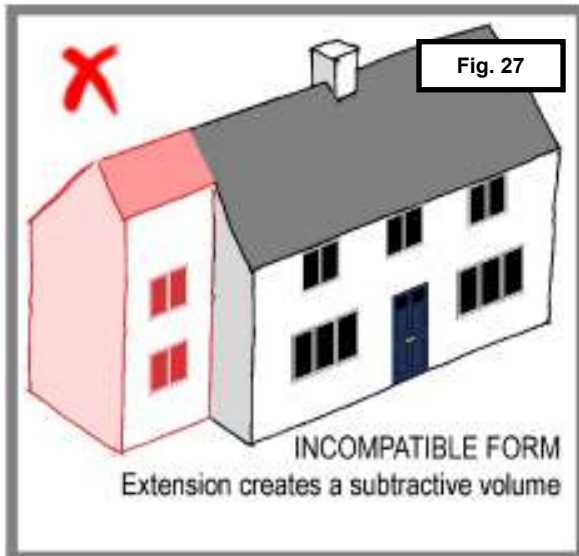
6.4.2 An exact match is not always possible. Original materials may no longer be available, or the extension, such as a conservatory, may be of a different form. Very rarely, a traditional form might be balanced with a more innovative extension where there are good reasons to do so. In these circumstances the design of the extension should respect the original character of the house and its place in the street scene. This may be done by reflecting the architectural rhythms of the house, its period characteristics, or its colour and texture. Any change of material should coincide with a break in the architectural form.

6.4.3 Great care should be taken to harmonise the form of a new extension with the original dwelling. In particular, a two-storey, flat roofed extension to a conventional pitched roof house is normally very damaging to its appearance. The County Borough Council considers that, generally, no two-storey extension that can be seen from the street or other public area should be finished with a flat roof.

6.4.4 It is well worth considering the character of the house and the area when designing alterations, even if they seem small scale. The quality of an area can be badly affected by the cumulative effect of decisions about window style and material, front doors, dormers and roof lights. In particular, the special sense of place that is created by the typical valleys terrace house is easily compromised over time.







Understanding the house and the area

One purpose of the planning system is to safeguard the existing qualities of buildings and streets. Extensions and alterations should be designed to complement the character of the property and street or area. An understanding of the character of the property and area is needed to achieve this. In particular, it is necessary to consider how the proposals will fit in with the characteristics shown on the drawings below.

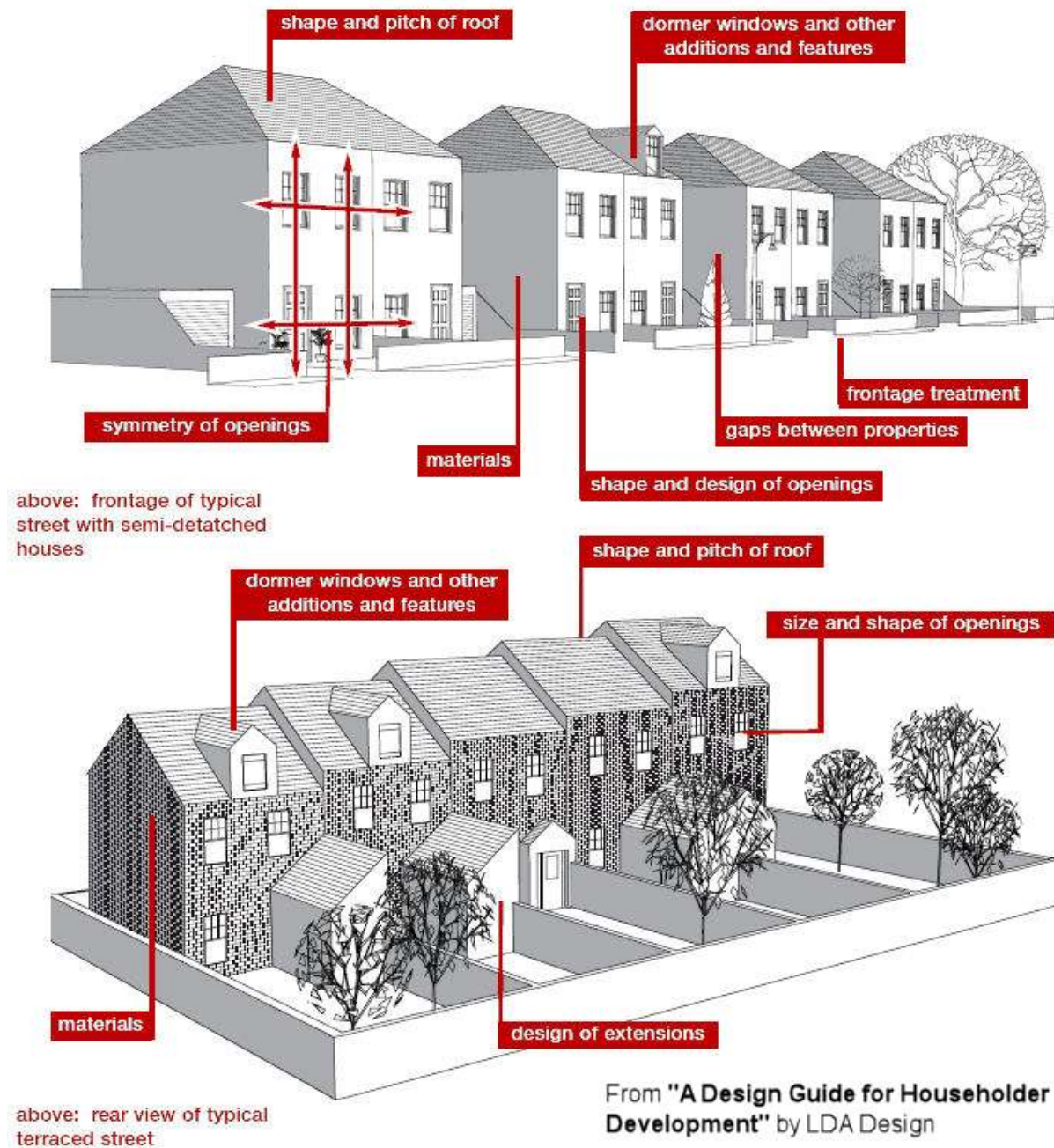
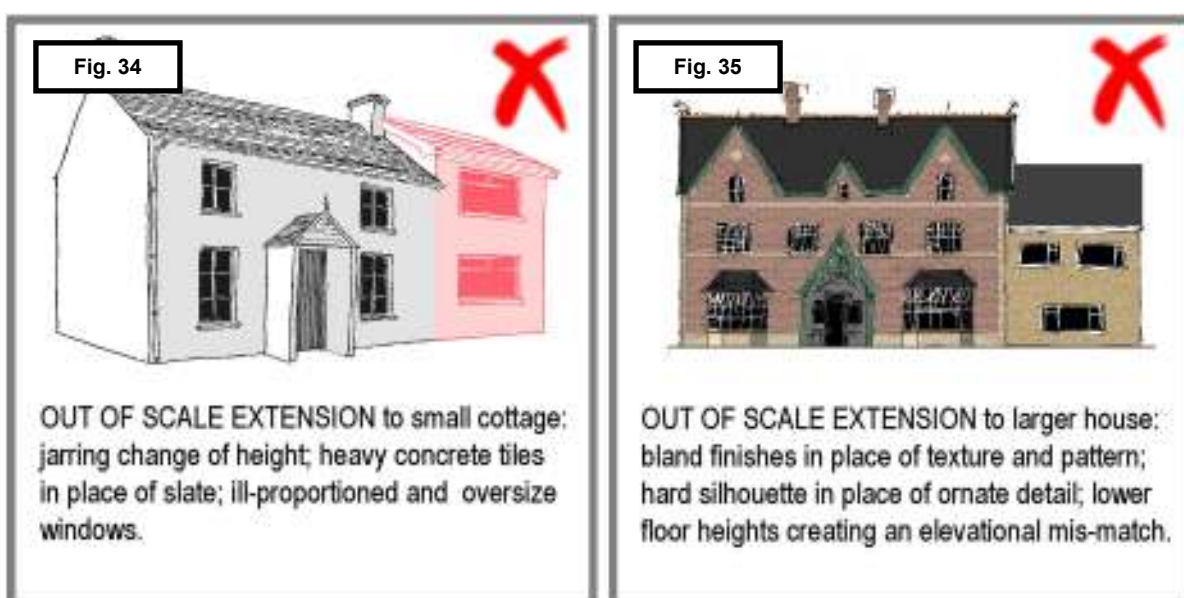


Fig. 33

6.5 NOTE 12: An extension should be in scale with the existing dwelling. (EV45)

6.5.1 Some dwellings have a character and charm that can be destroyed by excessive extension. To retain the contribution that such buildings make to the environment extensions should be kept to an absolute minimum. If the original ceiling levels are low, the extension should be carefully designed to avoid dwarfing the existing house.

6.5.2 Keeping in scale is not just a matter of the size of the extension. Scale is also expressed in the texture of detail and materials.

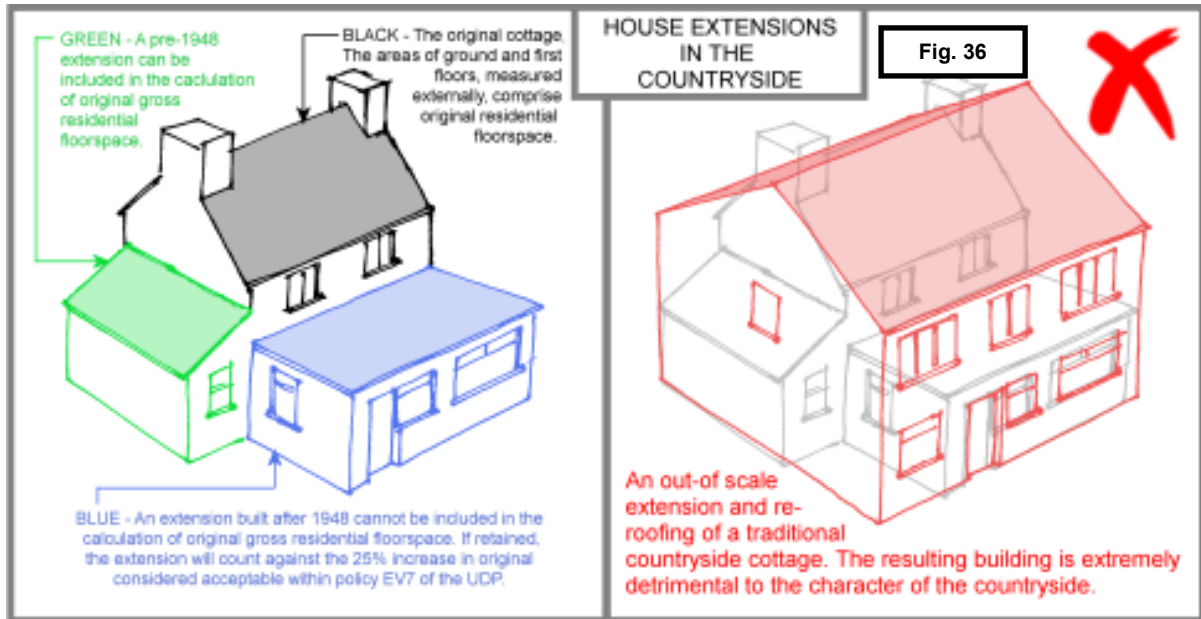


6.6 NOTE 13: Any extension to a dwelling in the countryside should be modest in size and be clearly subordinate to the original building. (EV1, EV7, EV45)

6.6.1 All development in the countryside⁹ is strictly controlled. Dwellings in the countryside are a special case because they often stand alone and may be prominent in the surrounding landscape. There has been a tendency in the past to add extravagant extensions to humble cottages. The results are detrimental to the character of the countryside and also have the effect of reducing the choice of house types available in a rural setting.

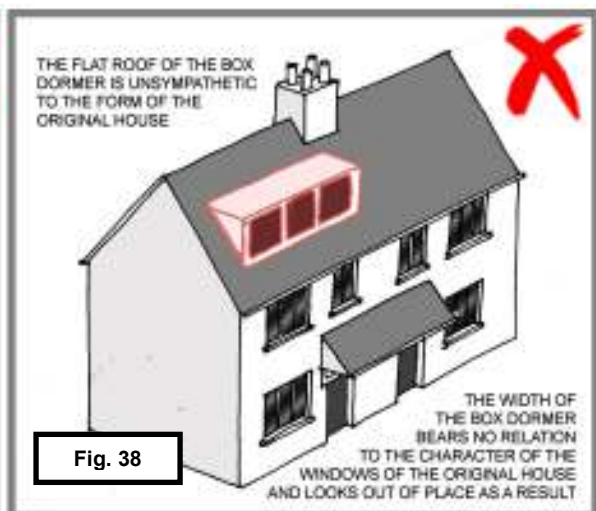
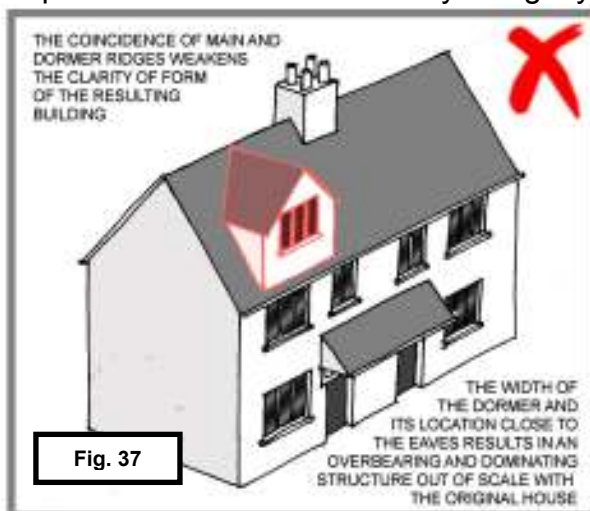
6.6.2 An extension to a house in the countryside, therefore, should not exceed whichever is the greater of the following:

- (a) The limits set by the Town and Country Planning (General Permitted Development) Order 1995¹⁰ or
- (b) 25% of the gross residential floor area¹¹ of the original dwellinghouse¹².



6.7 NOTE 14: Dormer extensions should be sympathetic to the existing house in their shape, position, scale and material. (EV45)

6.7.1 Changes to the roof of a house or bungalow should be very carefully considered. They are almost always prominent, and can easily be very damaging to appearance. Windows in dormers can also affect the privacy of neighbouring property because of their elevated viewpoint (see Note 6). Large roof extensions rarely appear satisfactory if they affect the front or side roof slopes or if they rise above the ridge of the existing building. Box-like flat roof dormers can jar against the slope of the roof and are usually unsightly.



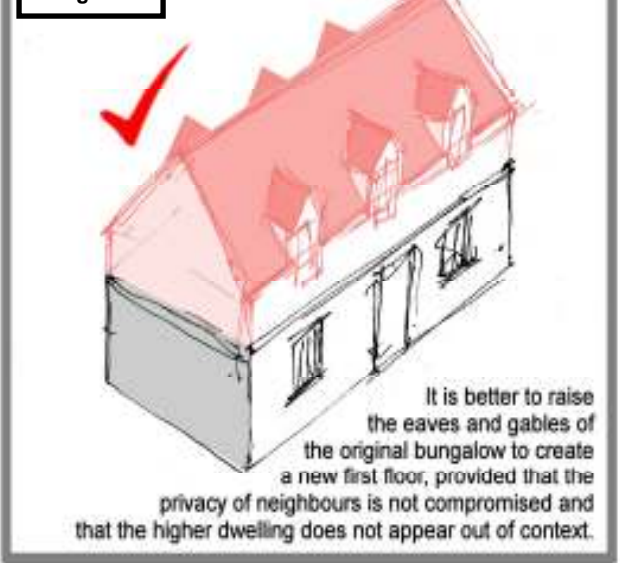
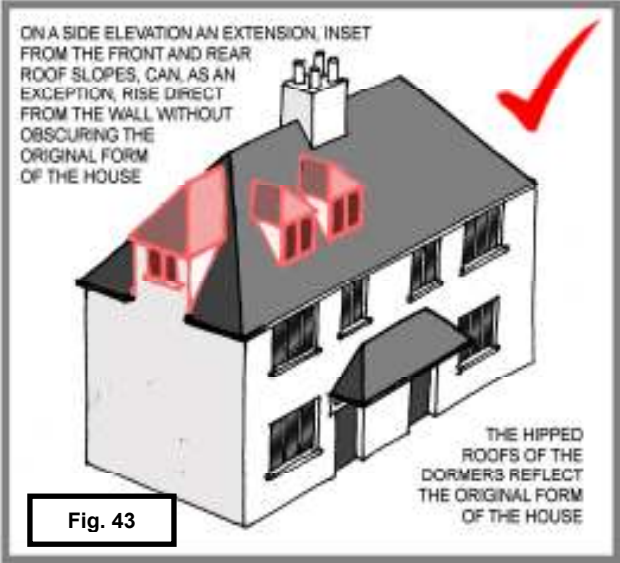
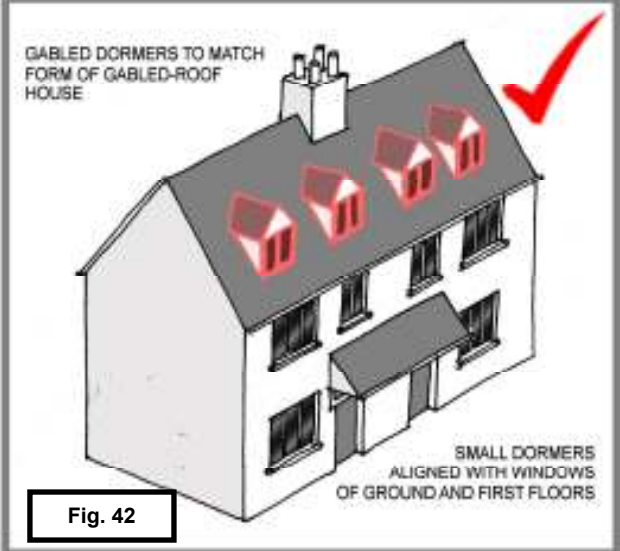
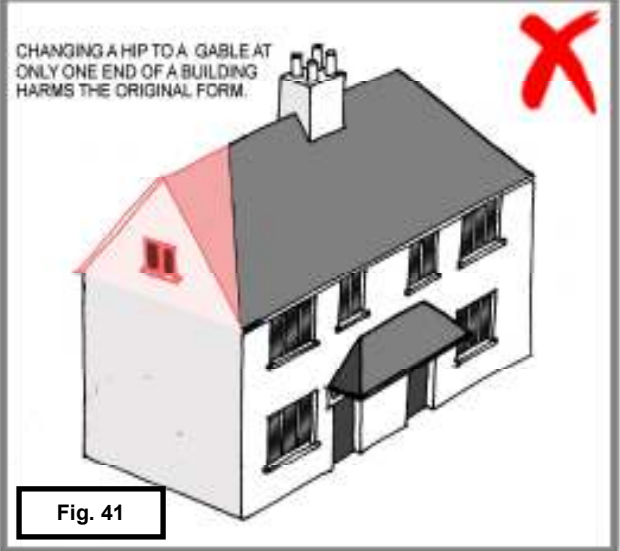
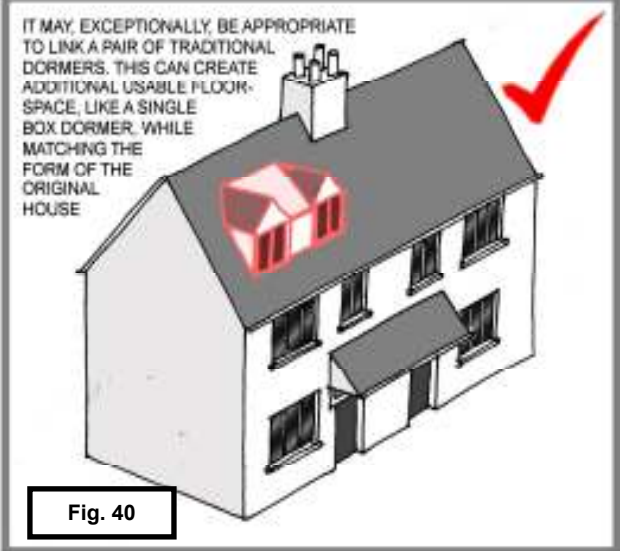
6.7.2 The key principles are:

- dormer windows should be subservient to the main roof and should normally use the same pitch and roofing details as the main roof;
- dormers should cover no more than a maximum of 50% of the roof area on which they are located

- (c) dormer windows should be set down from the ridge and in from the sides of the roof;
- (d) dormer windows should be set well back from the eaves, unless the dormer face is an extension of the wall of the property. The latter is usually only appropriate if the sills of the window are set at or below eaves height.
- (e) new dormer windows should reflect the design of dormer windows that are an original feature of other buildings in the area or street;
- (f) materials for dormers should match or harmonise with the roof materials
- (g) dormer windows should be positioned to complement the pattern of the windows on the rest of the house;
- (h) two smaller dormer windows can often be preferable to one large window.

6.7.3 Very occasionally it may be possible to raise the eaves of the whole property, or the pitch of the roof as an alternative to the addition of unacceptable and unsightly flat-roof dormers to front and rear. Particular attention, however, is needed to the context of the house or bungalow. Increasing the roof height of a dwelling by altering the eaves height or pitch is very difficult to achieve satisfactorily and is unlikely to be acceptable in a terrace or a street where heights and roof pitches are the same. This is a particular concern where bungalows form the dominant context, and the extension would be intrusive. The raised building could also result in unacceptable overlooking or overshadowing of neighbouring property.

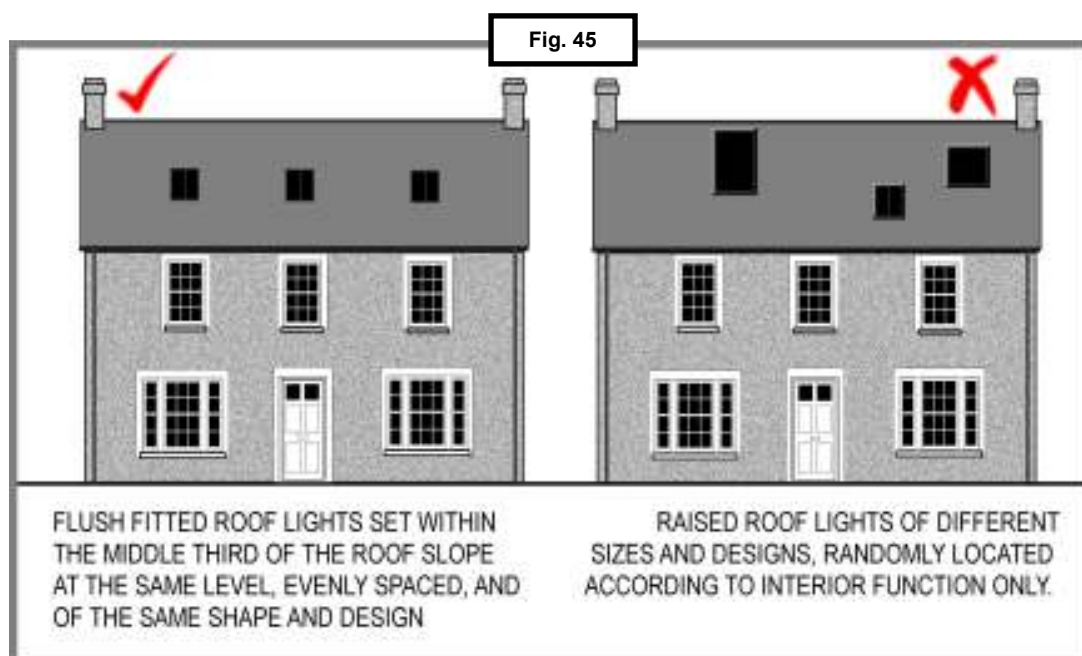




6.8 NOTE 15 Roof lights should be sympathetic to the existing house in their shape, position, scale and design. (EV45)

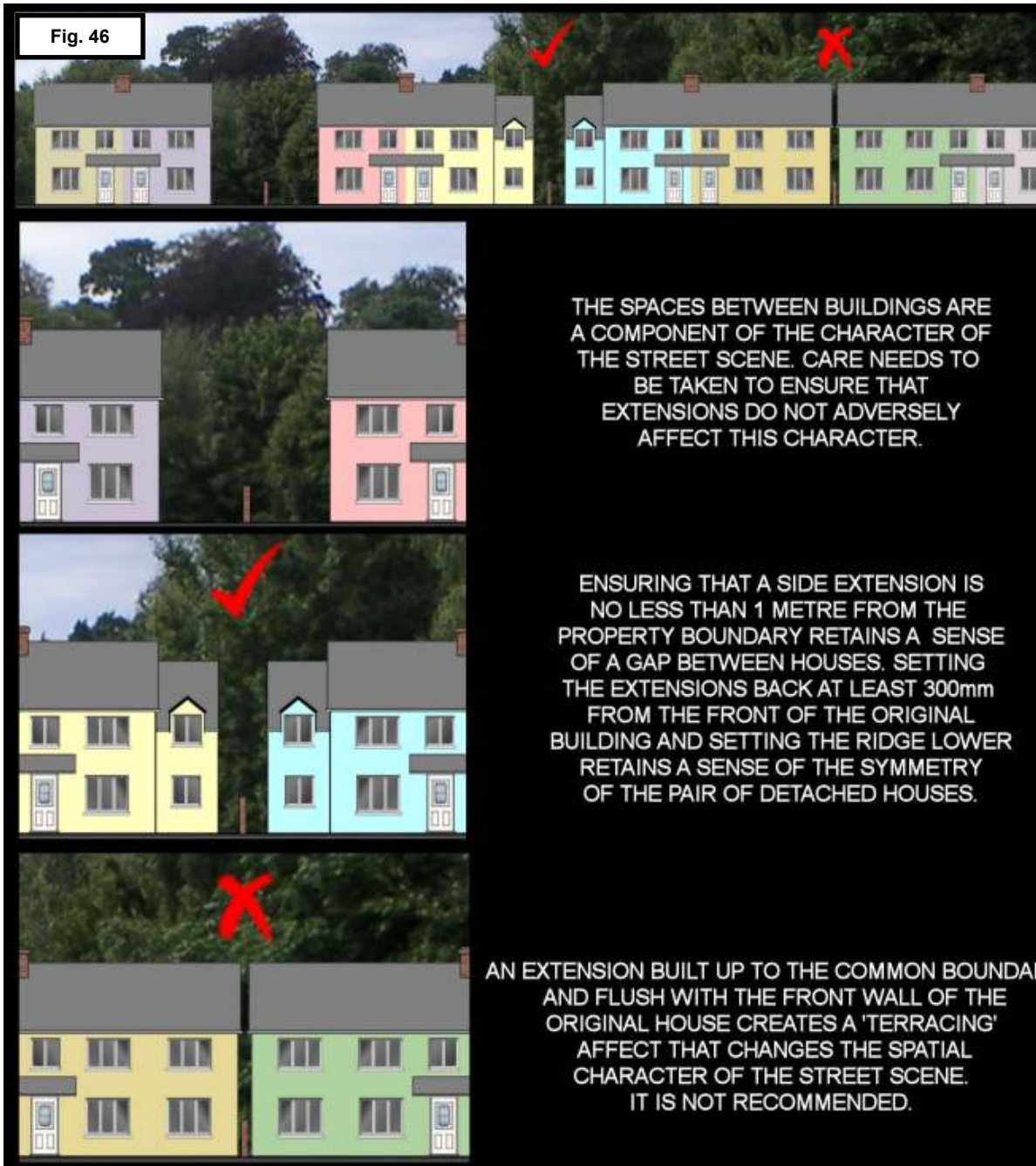
6.8.1 Sloping roof lights are less intrusive than dormer windows and can reduce the problems of overlooking. Roof lights should ideally be set within the middle third of the roof slope away from gables or roof abutments and chimneys. If there is more than one roof light they should normally be at the same level, evenly spaced, and of the same size, shape and design.

6.8.2 On older properties large roof lights should normally be avoided. Flush fitted roof lights with a central glazing bar can better reflect the character of original Victorian roof windows, but they should not normally be used on principal or prominent roof slopes on a historic building, particularly if that building is listed.



6.9 NOTE 16: No side extension should have a design that, if repeated on adjoining property, would create the appearance of terraced housing. (EV45)

6.9.1 Extensions to the side of houses are a particular problem in areas of similar semi-detached properties. The spatial character of the area can be substantially changed as extensions to adjoining houses almost meet, creating the appearance of terraced development. To minimise this adverse effect an extension should be set back at least 1 metre from the front elevation of the house (see Note 18) and 0.5 metre in from the site boundary (see Note 3). The roof ridge should be at least 0.5metre lower than the ridge level of the existing dwelling.



6.10 NOTE 17: A side extension to a semi-detached property should respect the original symmetry of the pair of buildings. (EV45)

6.10.1 A side extension to a semi-detached property can unbalance the design of an originally symmetrical pair. To minimise this effect, the front wall of the extension should be set back at least 1 metre from the original front wall, and the roof ridge set down at least 0.5 metre below the original roof. The extension is then clearly distinguishable from the original house, which can remain in harmony and balance with its neighbour.

6.10.2 The design statement should explain how a side extension to a semi-detached property respects the original symmetry of the building, and why it does not risk a terracing effect in the street scene.

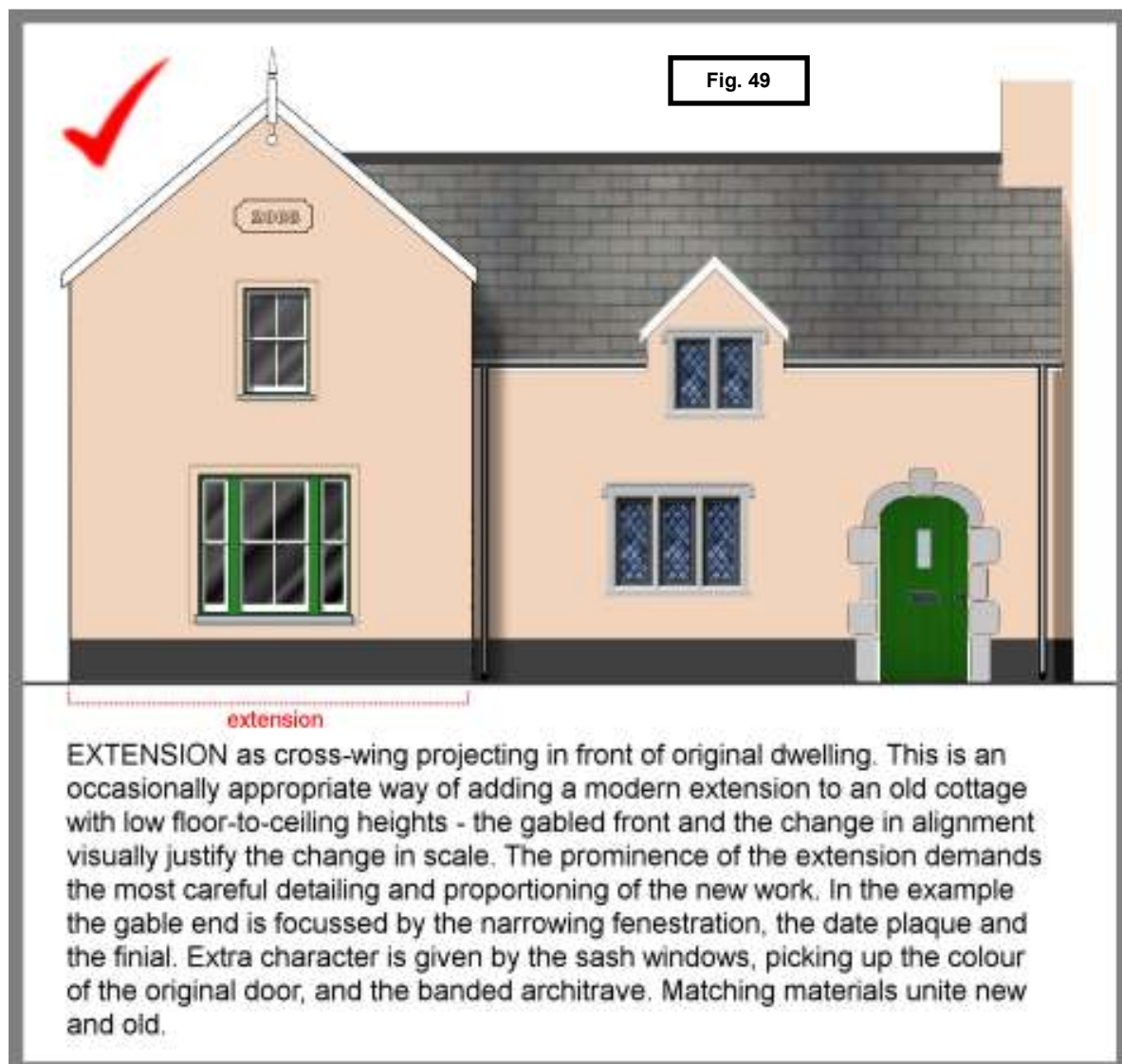
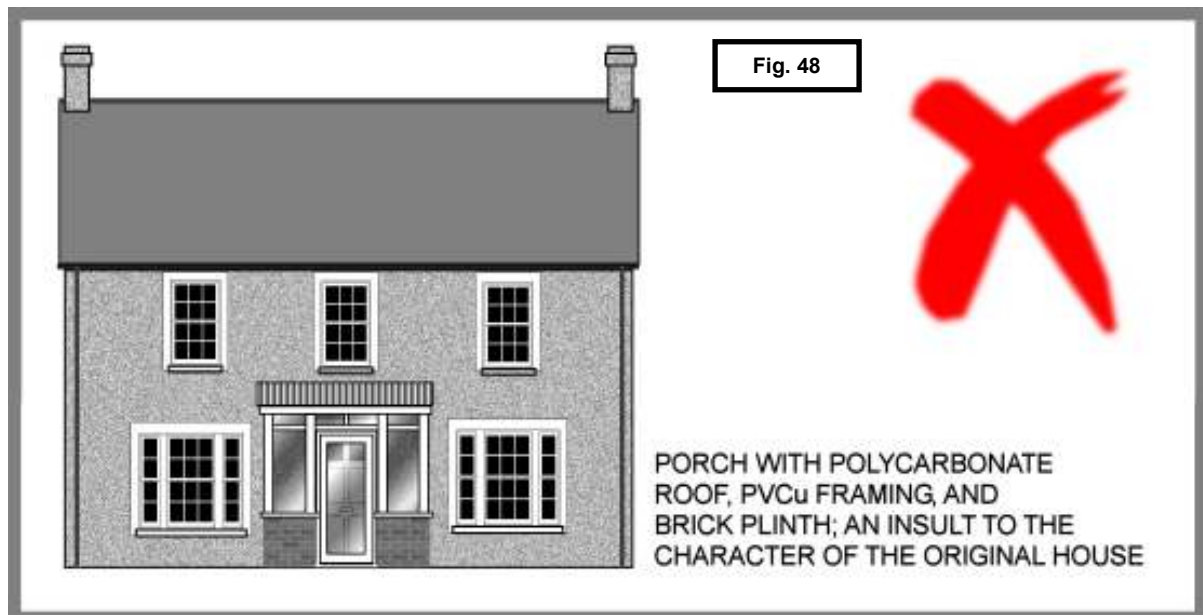


6.11 NOTE 18: Front extensions that come forward of a definable building line, including porches, should be designed to the highest standard in recognition of their prominence in the street scene. (EV45)

6.11.1 Generally, extensions should be kept behind the building line. Anything built forward of the building line is likely to have a strong effect on the general spatial character of an area. Such an extension will be the focus of attention in its immediate context. It should therefore be designed to a standard that reflects the attention its prominence attracts.

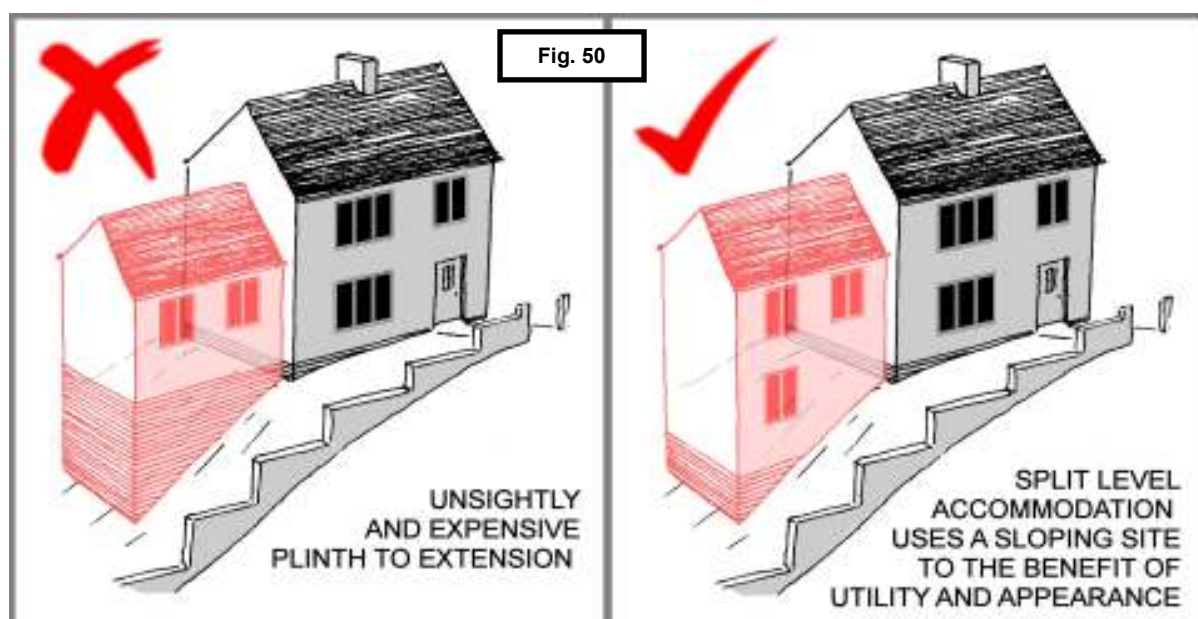
6.11.2 The design statement should offer a clear justification for a front extension in terms of the relationship of the extension to the extended building and to the general

character of the area. It should also explain the particular design quality of the extension.



6.12 NOTE 19: An extension built on a sloping site and which is visible from the street or other public area should be related to the slope rather than being imposed upon it. (EV45)

6.12.1 With many houses in the Borough on sloping sites, this note draws attention to the need to take account of the slope in designing extensions. Too often, extensions are planned as if the site were flat, leading to large areas of unsightly brickwork as a support for the new accommodation. This is not recommended if the extension is in public view. It is better to introduce internal changes of level to make use of the slope, rather than to try to ignore it.

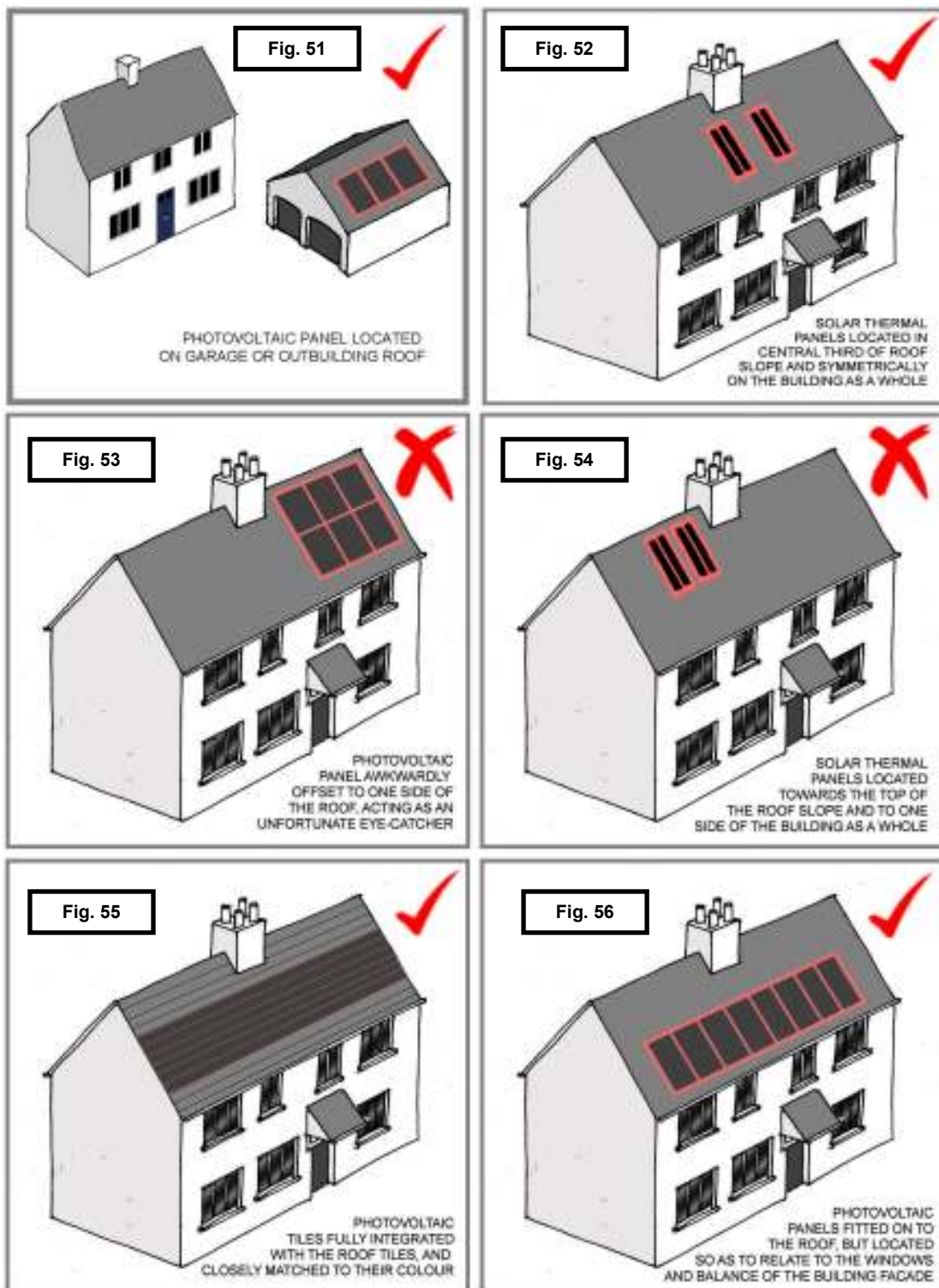


6.13 NOTE 20 Solar panels (for water heating or solar electricity generation) should be sympathetic to the existing house in their shape, position, scale and design. (EV45, U1)

6.13.1 Solar water heating and photovoltaic panels have a role in increasing the sustainability of housing. They may be considered either as part of a new extension or as an addition to the existing dwelling. As a general principle, the County Borough Council supports development intended to reduce carbon emissions.

6.13.2 Planning permission may not be required if the panels are located at the rear of the property with little public visibility, or if they are flush, or close to flush with the front roof surface. If they are fitted to the front roof slope and project far enough to materially alter the shape of the house, planning permission is likely to be required.

6.13.3 Any proposal to add panels to a listed building is extremely likely to require listed building consent. That consent will not be granted if the architectural or historic interest of the building is damaged.



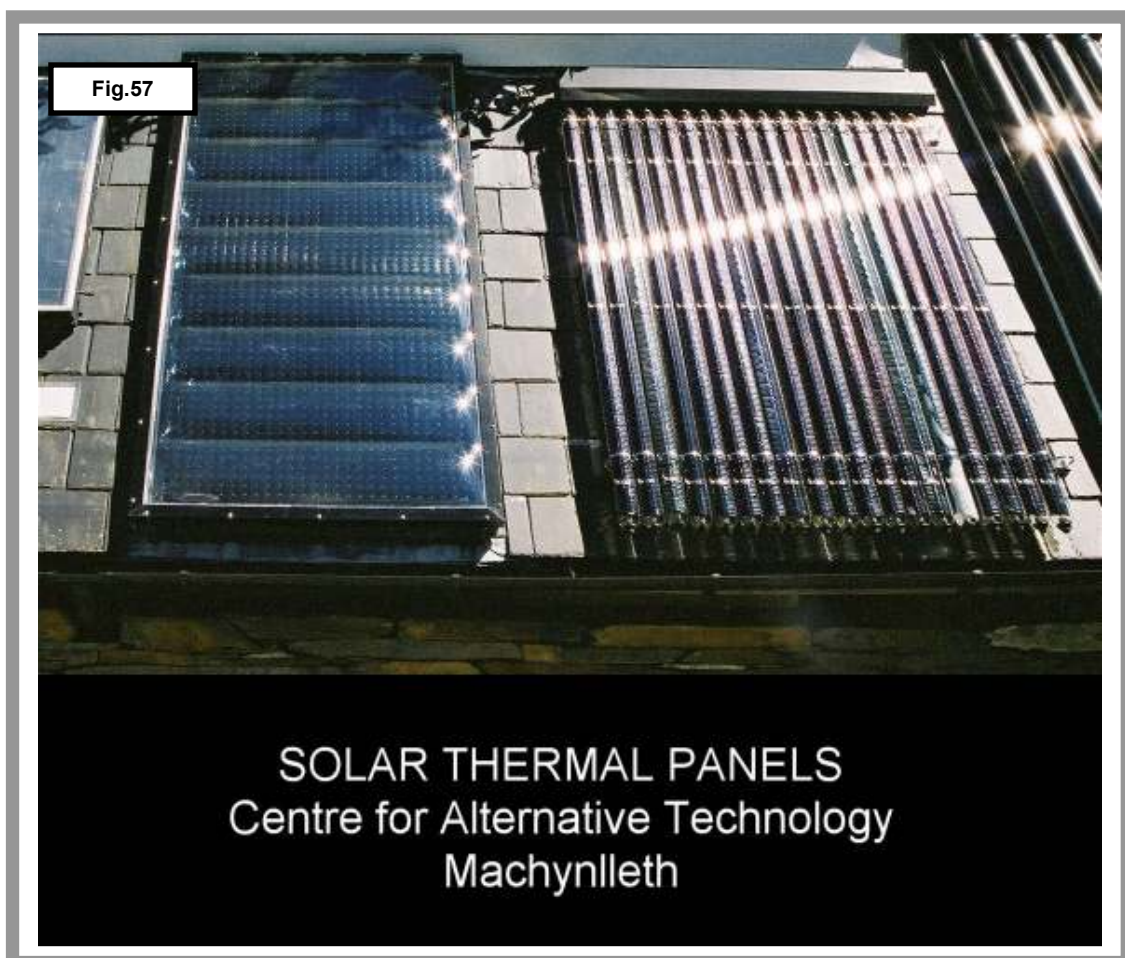
6.13.4 It is always best that any proposals are discussed beforehand with the planning department of the County Borough Council. Even on slate roofs solar panels, whether for water heating or electricity generation, can have a significant visual impact. In scale, the former are closer to the size of roof lights. A typical

installation will cover between two to five square metres of roof space. The latter are usually more extensive, covering ten to fifteen square metres.

6.13.5 It is recognised that the functional requirements limit the options for fitting solar water heating panels, with the orientation of the roof and the location of internal pipe work having an effect. It is, however, worthwhile trying to treat them as roof lights, setting them within the middle third of the roof slope away from gables or roof abutments and chimneys. If there is more than one panel they should normally be at the same level, evenly spaced, and of the same size, shape and design. Panels that are taller than they are wide are likely to appear less out of place, particularly on older buildings.

6.13.6 A photovoltaic installation has potentially greater visual impact because of its size. There is also a constraint of needing to avoid shading of any part of the panel during the day. In visual terms an installation that is integrated with the roof, either as panels or as tiles that replace the standard roof tiles, is likely to be preferable to a panel fixed on the outside of the existing roof. Where possible a location on the roof should be chosen with a view to the visual balance of the building.

6.13.7 Consideration could be given to photovoltaic panels fitted to a garage or garden building, subject to the needs of orientation and avoidance of overshadowing. This may be the only acceptable option if the house is listed or in a conservation area.



6.14 NOTE 21 Wind turbines attached to or within the curtilage of residential property should be subservient to the dwelling and should not adversely affect the amenities of neighbours (EV45, U1)

6.14.1 Of all the methods for micro-generation of power, the small-scale wind turbine is the most visually expressive commitment to 'green' energy a household can make. At the present time, however, their effectiveness in carbon reduction in urban areas is questionable.

6.14.2 The output of a turbine depends on wind speed, which generally increases with height above ground. The turbine's efficiency is also adversely affected by turbulence. The best location, therefore, is on a high mast on an open site, well clear of buildings and trees. A wind turbine in an optimum position is therefore difficult to screen, and its visual impact can be significant.

6.14.3 Small wind turbines are now available for fitting on buildings or on garden masts. There can be structural implications of installing a wind turbine on an existing building, and independent, professional advice is recommended, to ensure that the building can withstand both the additional weight and the forces exerted during periods of high wind. Also, in most residential contexts, the sheltering and turbulence effects of surrounding buildings can badly affect the efficiency of a turbine.

6.14.4 In almost all cases planning permission will be required for a wind turbine attached to a house. The factors that will be considered may include:

- (a) Visual impact of the turbine and associated tower or mast;
- (b) Broken roofscape where the turbine is erected above the line of the existing roof;
- (c) The effect on buildings or areas of historic or architectural interest;
- (d) Noise generated by the wind turbine;
- (e) Shadow flicker created by the turbine blades;
- (f) Shadow throw from the turbine blades;
- (g) Ice throw from the turbine blades;
- (h) Television and radio interference caused by the generator.

6.14.5 Where functional constraints permit, the wind turbine should be located where it has the least impact on the public realm, such as:

- (a) A site in the rear garden, either on a mast or a garden building
- (b) On the rear wall of the house, or on a rear gable, below the height of the main roof.

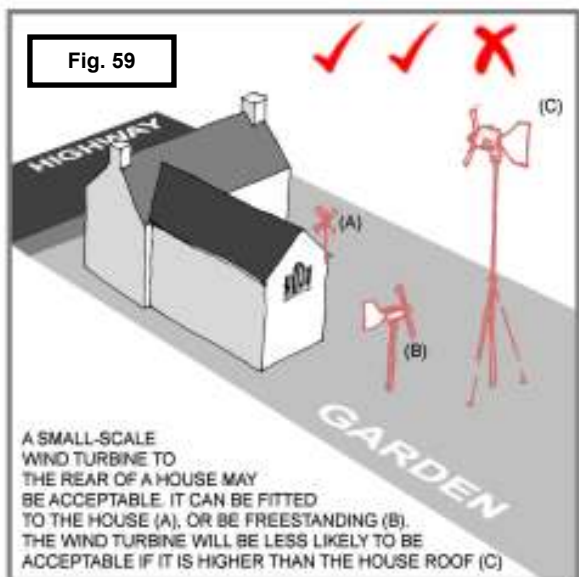
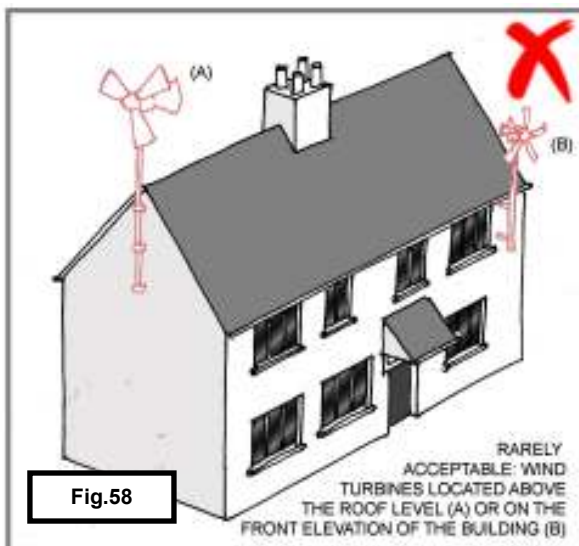
Such siting is likely to affect the efficiency of the turbine because of the sheltering effect of the house. It is important that the turbine has free access to the prevailing wind.

6.14.6 A turbine mounted above roof level, either on the building or in the garden, or one fixed to a front wall of the building, may have a visual impact that is unacceptable. Where listed buildings or conservation areas are affected planning permission is unlikely to be granted, unless it can be clearly demonstrated that the setting of the building or the conservation area is not adversely affected.

6.14.7 While the County Borough Council generally supports techniques for carbon reduction it considers that at the present stage of development small-scale wind turbines should be the last of the alternative technologies to be adopted for a house. To encourage energy saving before micro-generation an application for a wind turbine should be accompanied by a statement confirming that the following energy saving measures have been completed:

- (a) The insulation of the whole of the loft of the property to meet current building regulations (e.g. 270mm of mineral wool loft insulation or suitable alternative);
- (b) The installation of cavity wall insulation (if the property has cavity walls);
- (c) The fitment of low energy light bulbs in all appropriate light fittings;
- (d) The installation of basic controls for the heating system to include a room thermostat and a programmer or timer.

(These requirements are the same as for an application for a low carbon buildings grant from the low carbon buildings programme of the Department of Trade and Industry.)



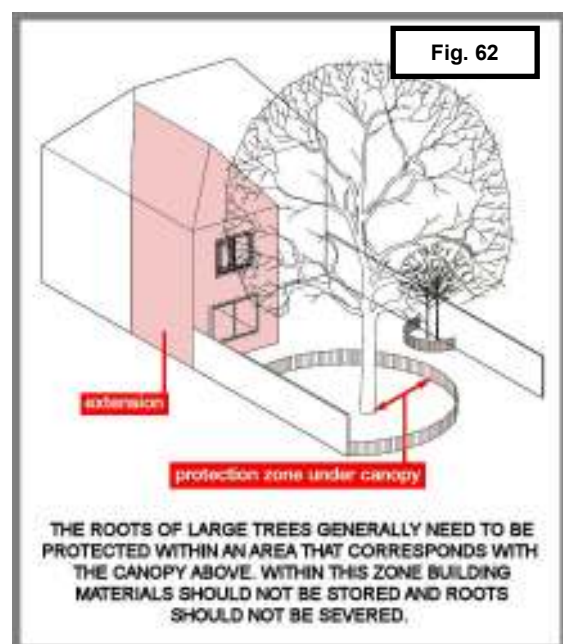
6.15 NOTE 22: The construction of an extension should be compatible with the preservation of any environmentally important trees. (EV20, EV21, EV45)

6.15.1 Building work or excavation within its 'zone of root influence' can damage a tree. Table 1¹³ shows how large that zone can be. To ensure that important trees are protected it is recommended that no building work or excavation takes place within the appropriate zone of root influence. This restriction may suggest the direction in which a house close to a protected tree¹⁴ can be extended.

Table 1		ZONE OF ROOT INFLUENCE FOR COMMON TREES				Fig. 61
(A circle with the radius shown centred on the trunk of the tree)						
TREE	Zone of root influence	TREE	Zone of root influence	TREE	Zone of root influence	
Alder <i>Alnus Glutinosa</i>	13.5m	Hawthorn <i>Crataegus Monogyna</i>	7.5m	Poplar <i>Populus alba/nigra</i>	35m	
Ash <i>Fraxinus Excelsior</i>	17.25m	Holly <i>Ilex Aquifolium</i>	6m	Rowan <i>Sorbus Aucuparia</i>	8.25m	
Aspen <i>Populus Tremula</i>	9m	Horse Chestnut <i>Aesculus Hippocastanum</i>	15m	Scots Pine <i>Pinus Silvestris</i>	15m	
Beech <i>Fagus Sylvania</i>	10m	Lime <i>Tilia Cordata</i>	16.5m	Sweet Chestnut <i>Castanea Sativa</i>	15m	
Birch <i>Betula Pendula</i>	7m	Ornamental Maples <i>Acer Platanoides</i>	6m	Sycamore <i>Acer Pseudoplatanus</i>	16.5m	
Cherry/Crab spp <i>Prunus/Malus spp</i>	6.75m	Norway Maple <i>Acer Platanoides</i>	13.5m	Whitebeam <i>Sorbus Aria</i>	9m	
Field Maple <i>Acer Campestre</i>	9m	Oak <i>Quercus spp</i>	20-30m	Willow <i>Salix spp</i>	20-30m	

6.15.2 Householders should note that even if a proposed extension is permitted development an offence may be committed if construction results in damage to a protected tree. Where a tree is within a conservation area, the County Borough Council must be notified before work affecting that tree is undertaken.

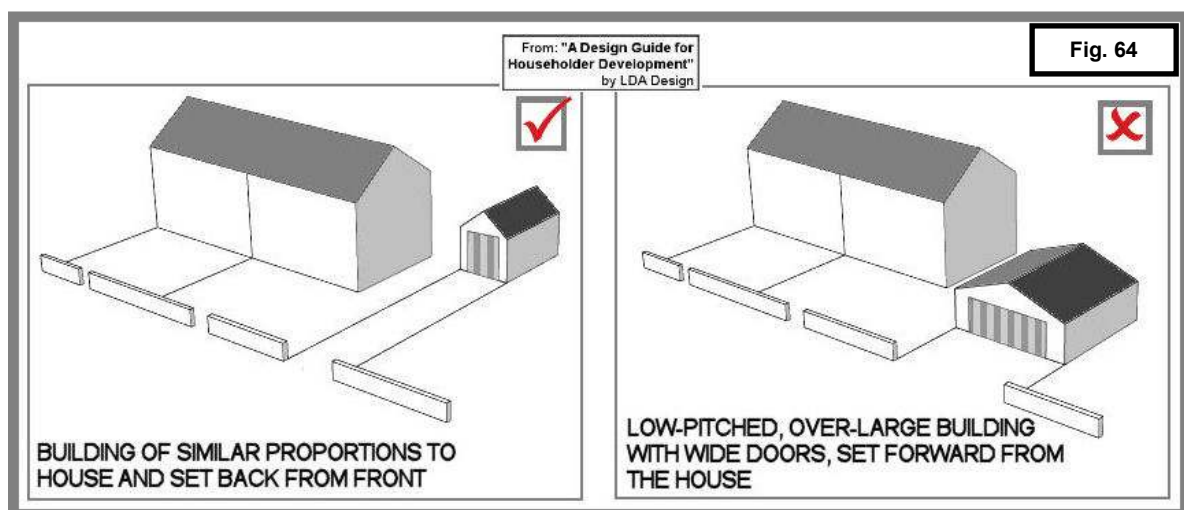
6.15.3 If there are protected trees on or adjacent to the site of a proposed extension, the design statement should make clear what measures are to be taken to ensure that the trees are not damaged by the development.



6.16 NOTE 23: Garages and outbuildings should be sited and designed so as to complement the existing house and to ensure there is no adverse effect on adjacent properties. (EV45)

6.16.1 The key principles to be considered in determining the sized, shape and position of a garage or outbuilding are as follows:

- (a) Garages and outbuildings should not detrimentally affect the space about the original house,
- (b) They should not result in the loss of trees or other features important to the character of the area.
- (c) They should be smaller in scale and subservient to the house.
- (d) They should not normally be in front of the house, nor should they dominate the existing and surrounding properties.
- (e) Any garage one and a half storeys or more in height may overshadow adjacent properties.
- (f) Garage doors should be as narrow as practical, with two single garage doors being preferable to one double door.
- (g) A garage should be 6 metres long and have a clear internal width of 3 metres (3.8 metre width is recommended, to make use by the disabled practical). (Also see note 8.)



7 HISTORIC BUILDINGS

7.1 NOTE 24: Any alteration of or extension to a listed building, or building of local architectural or historic interest, must be compatible with the protection of the special architectural and historic interest of the building. (EV31, EV33, EV34, EV45)

7.1.1 Listed buildings are designated by the National Assembly for Wales and are, by definition, very special buildings. Opportunities for alteration or extension may be limited or non-existent. Listed Building Consent will always be required for extensions, and will usually be required for alterations (even those affecting just the interior) if the special interest of the building is affected in any way. In addition to carefully considering the advice in the preceding notes, applicants are advised to discuss any proposal with the Local Planning Authority at the earliest possible stage.

7.1.2 There is detailed advice regarding alteration to listed buildings set out in Annex D of Welsh Assembly Government Circular 61/96 "Planning and the Historic Environment: Historic Buildings and Conservation Areas". Attention is drawn particularly to the following general principles:

- (a) *"Historic buildings should be considered in the same light as antiques, paintings, or manuscripts: they are important both as products of human creativity and for what they can tell us about the past. The foremost principle which should guide works to historic buildings is conserve as found."*
- (b) *"In general the wholesale reinstatement of lost, destroyed or superseded elements of a building or an interior is not appropriate, although, where a building has largely retained the integrity of its design, then the reinstatement of lost or destroyed elements of that design could be considered. In such cases there should always be adequate information confirming the detailed historical authenticity of the work proposed. Speculative reconstruction should be avoided, as should the reinstatement of features that were deliberately superseded by later historic additions."*
- (c) *"Modern extensions should not dominate the existing building in either scale, material or situation. There will always be some historic buildings where any extensions would be damaging and should not be permitted. Successful extensions require the application of an intimate knowledge of the building type which is being extended together with a sensitive handling of scale and detail."*

7.1.3 In addition to those buildings included on the statutory list, Bridgend County Borough Council is identifying buildings in the County Borough that have local architectural or historic interest. It is anticipated that a draft of SPG 11 "Buildings of Local Architectural or Historic Importance" will be published for consultation in spring 2009. While listed building consent is not required, extensions to these buildings will need special consideration, to ensure that the interest of the building is not damaged.

7.1.4 The design statement accompanying a listed building consent application must state why the work to the listed building, or building of local architectural or historic interest, is necessary and should explain how it respects the special interest of the building.

Fig 65

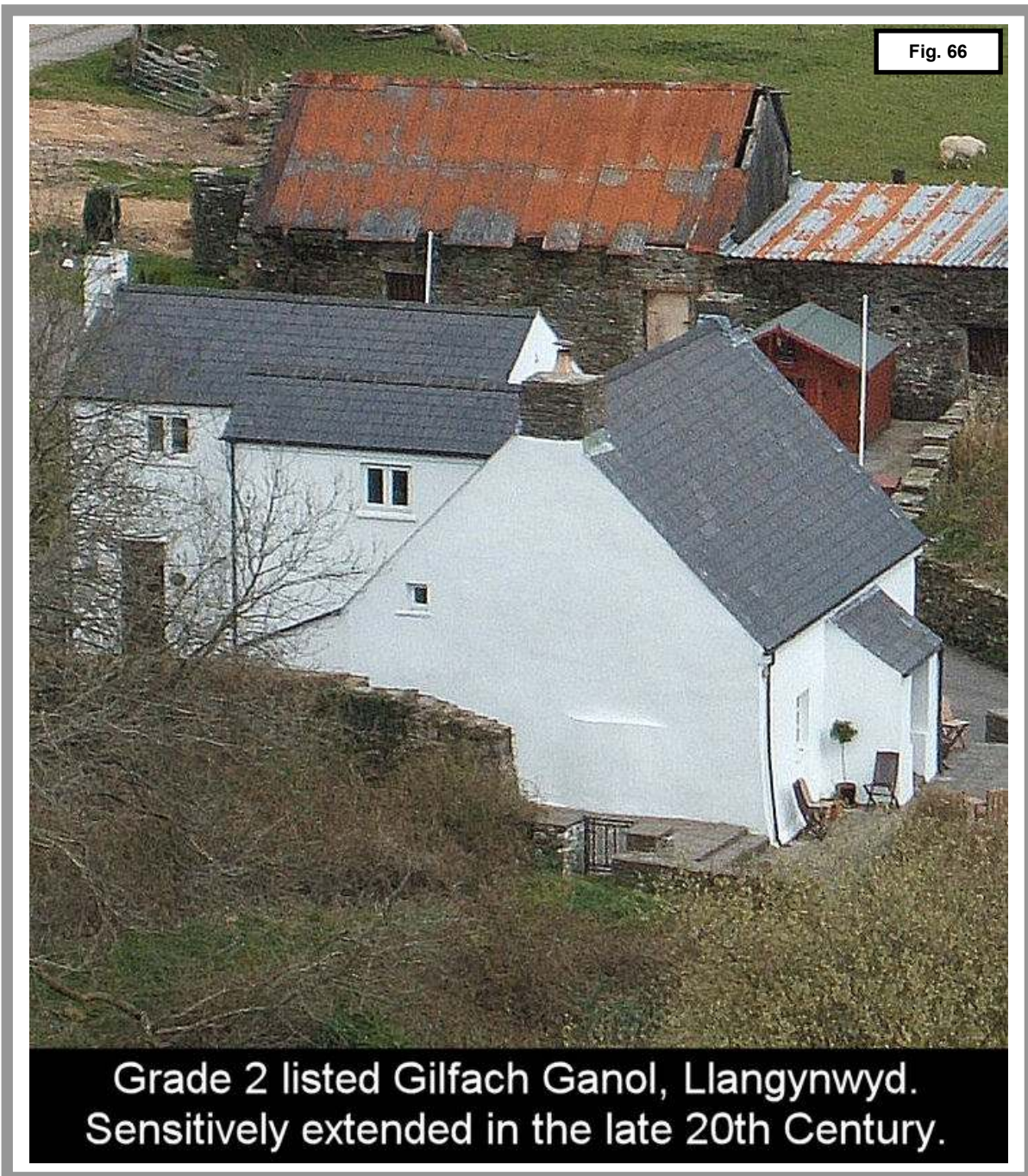
Listed dwellings in Bridgend County Borough

By Community Council area

BRIDGEND COMMUNITY			
<i>Name/number</i>	<i>Street</i>	<i>Area</i>	<i>Grade</i>
Newbridge Farm Farm Buildings	Bowham Avenue	Bridgend	2
Newbridge Farm Farmhouse	Bowham Avenue	Bridgend	2
02 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
04 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
06 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
07 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
08 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
26 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
27 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
29 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
30 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
32 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
34 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
36 Preswylfa Court	Merthyr Mawr Road	Bridgend	2
Garth Celyn, 02	Merthyr Mawr Road	Bridgend	2
Newcastle House, 08	Merthyr Mawr Road	Bridgend	2*
Nolton Cottage, 06	Merthyr Mawr Road	Bridgend	2
Nolton Court, 04	Merthyr Mawr Road	Bridgend	2
Nazareth Apostolic Church	Newcastle Hill	Bridgend	2
Newcastle Cottage, 10	West Road	Bridgend	2
West Cottage, 06	West Road	Bridgend	2
Westfield, 48	West Road	Bridgend	2
CEFN CRIBWR COMMUNITY			
<i>Name/number</i>	<i>Street</i>	<i>Area</i>	<i>Grade</i>
Bedford House	Bedford Road	Cefn Cribwr	2
COITY HIGHER COMMUNITY			
<i>Name/number</i>	<i>Street</i>	<i>Area</i>	<i>Grade</i>
Ty Mawr	Byeastwood	Coity	2*
CORNELLY COMMUNITY			
<i>Name/number</i>	<i>Street</i>	<i>Area</i>	<i>Grade</i>
Pool Farmhouse		Ton Kenfig	
Hall Farm	Hall Drive	North Cornelly	2*
Marlas House	Kenfig Road	Marlas	2
Sker House	Kenfig Road	Kenfig	1
Ty Maen	Porthcawl Road	South Cornelly	2
Ty Maen Garden Gateway	Porthcawl Road	South Cornelly	2
COYCHURCH HIGHER COMMUNITY			
<i>Name/number</i>	<i>Street</i>	<i>Area</i>	<i>Grade</i>
Wern Tarw and cowhouse	Mynnydd-y-Gaer	Wern Tarw	2
COYCHURCH LOWER COMMUNITY			
<i>Name/number</i>	<i>Street</i>	<i>Area</i>	<i>Grade</i>
Brynffrwd	Waterton Road	Coychurch	2
GARW VALLEY COMMUNITY			
<i>Name/number</i>	<i>Street</i>	<i>Area</i>	<i>Grade</i>
Tyle Coch		Shwt	2
Ty Isaf		Bettws	2

LALESTON COMMUNITY			
Name/number	Street	Area	Grade
Broadlands House	Broadlands	Laleston	2
Cliff Cottage	High Street	Laleston	2
Village Farm House	High Street	Laleston	2
LLANGYNWYD LOWER COMMUNITY			
Name/number	Street	Area	Grade
Cefn Ydfa and adjoining ruins	Nicholls Road (West of)	Llangynwyd	2
LLANGYNWYD MIDDLE COMMUNITY			
Name/number	Street	Area	Grade
Gelli Siriol Farmhouse	Bridgend Road (East of)	Pont-Rhyd-y-Cyff	2
Ty'n-y-Waun Farmhouse	Bridgend Road (West of)	Pont Rhyd-y-Cyff	2
Gilfach Ganol Farmhouse	Llangynwyd Mountain Road	Llangynwyd	2
MAESTEG COMMUNITY			
Name/number	Street	Area	Grade
Llwydarth Farmhouse	Llwydarth Road	Maesteg	2*
Pentre Farmhouse & farm range	Pentre Lane	Maesteg	2
MERTHYR MAWR COMMUNITY			
Name/number	Street	Area	Grade
Church Cottage		Merthyr Mawr	2
Diana Cottage		Merthyr Mawr	2
Holly Cottage		Merthyr Mawr	2
Home Farm		Merthyr Mawr	2
Merthyr Mawr House		Merthyr Mawr	2*
Oak Cottage		Merthyr Mawr	2
The Cottage		Merthyr Mawr	2
The Old School House		Merthyr Mawr	2
Ton Farm		Merthyr Mawr	2
Ton Farm Cottage		Merthyr Mawr	2
Tythegston Court		Tythegston	2*
Wellingtonia		Merthyr Mawr	2
West Lodge, Merthyr Mawr House		Merthyr Mawr	2
New Inn Lodge	New Inn Road	Merthyr Mawr	2
NEWCASTLE HIGHER COMMUNITY			
Name/number	Street	Area	Grade
Church Lodge	Heol Eglwys	Pen-y-Fai	2
School Lodge	Heol Eglwys	Pen-y-Fai	2
OGMORE VALLEY COMMUNITY			
Name/number	Street	Area	Grade
Blaenogwr Farmhouse	Ogwy Street	Nantymoel	2
PENCOED COMMUNITY			
Name/number	Street	Area	Grade
Dyffryn Farmhouse	Hendre Road	Pencoed	2
PORTHCRAWL COMMUNITY			
Name/number	Street	Area	Grade
Manor Farm Courtyard Farm Range		Newton, Porthcawl	2
Nottage Court		Nottage, Porthcawl	2*
Nottage House		Nottage, Porthcawl	2
Danygraig House	Bridgend Road	Newton, Porthcawl	2
Manor Farmhouse	Bridgend Road	Newton, Porthcawl	2
The Old School	Church Street	Newton, Porthcawl	2

Crown House, 316	New Road	Newton, Porthcawl	2
22	Newton Nottage Road	Porthcawl	2
Tudor Cottage	Newton Nottage Road	Newton, Porthcawl	2
Veronica Cottage	West Road	Nottage, Porthcawl	2
ST. BRIDES MINOR COMMUNITY			
Name/number	Street	Area	Grade
Maendy		Bryncethin	2*
YNSAWDRE COMMUNITY			
Name/number	Street	Area	Grade
Park House, 27	Derllwyn Road	Tondu	2
1 - 52	Park Terrace	Tondu	2



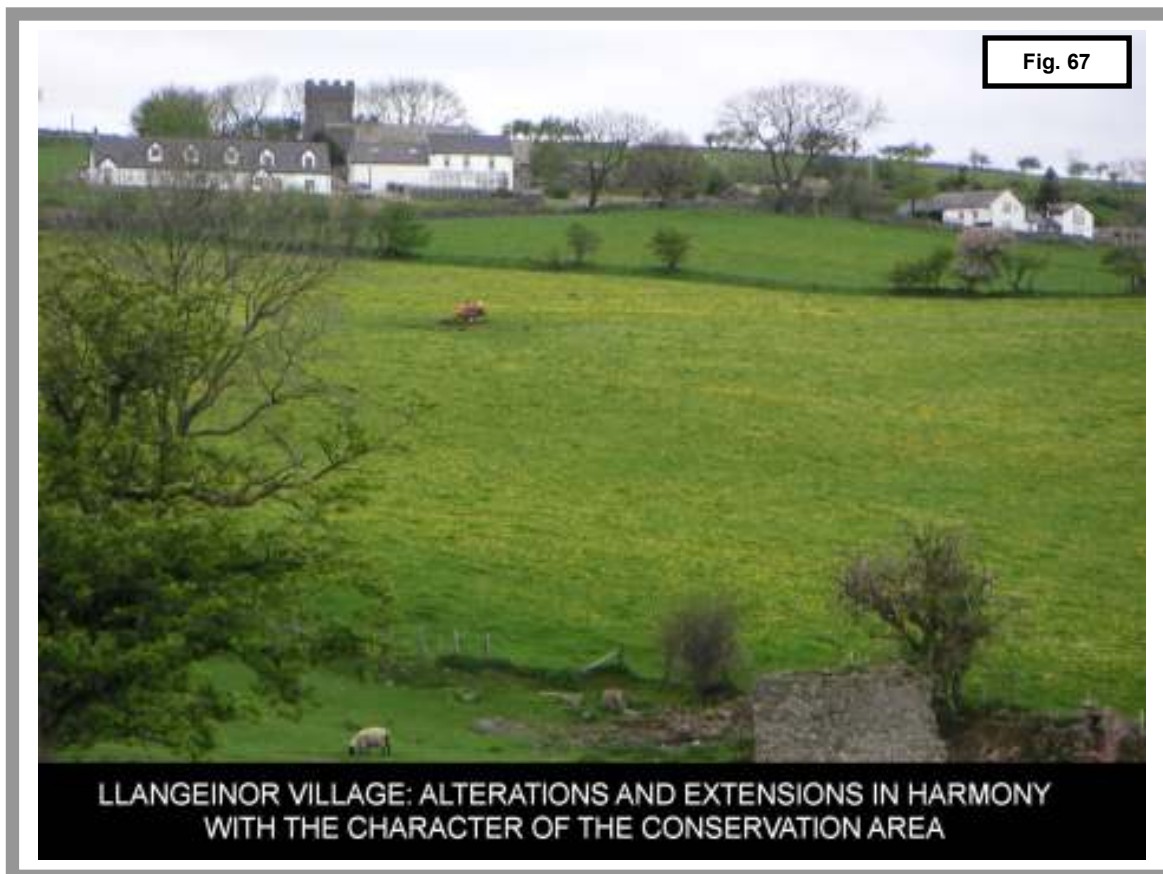
8 CONSERVATION AREAS

8.1. NOTE 25 Any extension to a dwelling in a conservation area must be compatible with the preservation or enhancement of the character or appearance of that conservation area. (EV31, EV38, EV45)

8.1.1 The restrictions on permitted development in conservation areas are greater than elsewhere. Even these limited permitted development rights may be removed if there is an article 4 direction in force¹⁵. It is more likely, therefore, that an extension to a house in a conservation area will require planning permission.

8.1.2 Conservation areas are valued for their architectural or historic character and appearance. If a proposed extension has no public impact it is likely that it will be compatible with the preservation of the appearance of the area. If the extension will be publicly visible, very careful attention must be given to its scale, form, materials and details, to ensure that it forms part of the existing valued harmony. The preceding advice is applicable, but the scope for flexibility of interpretation is less in a conservation area. Furthermore, certain properties may contribute to the local character by reason of their form or small scale, and extension may not be possible.

8.1.2 Where an extension is proposed to a property in a conservation area the design statement should indicate how the proposed extension has been designed to preserve or enhance the character or appearance of that conservation area.



Bridgend County Borough: CONSERVATION AREAS

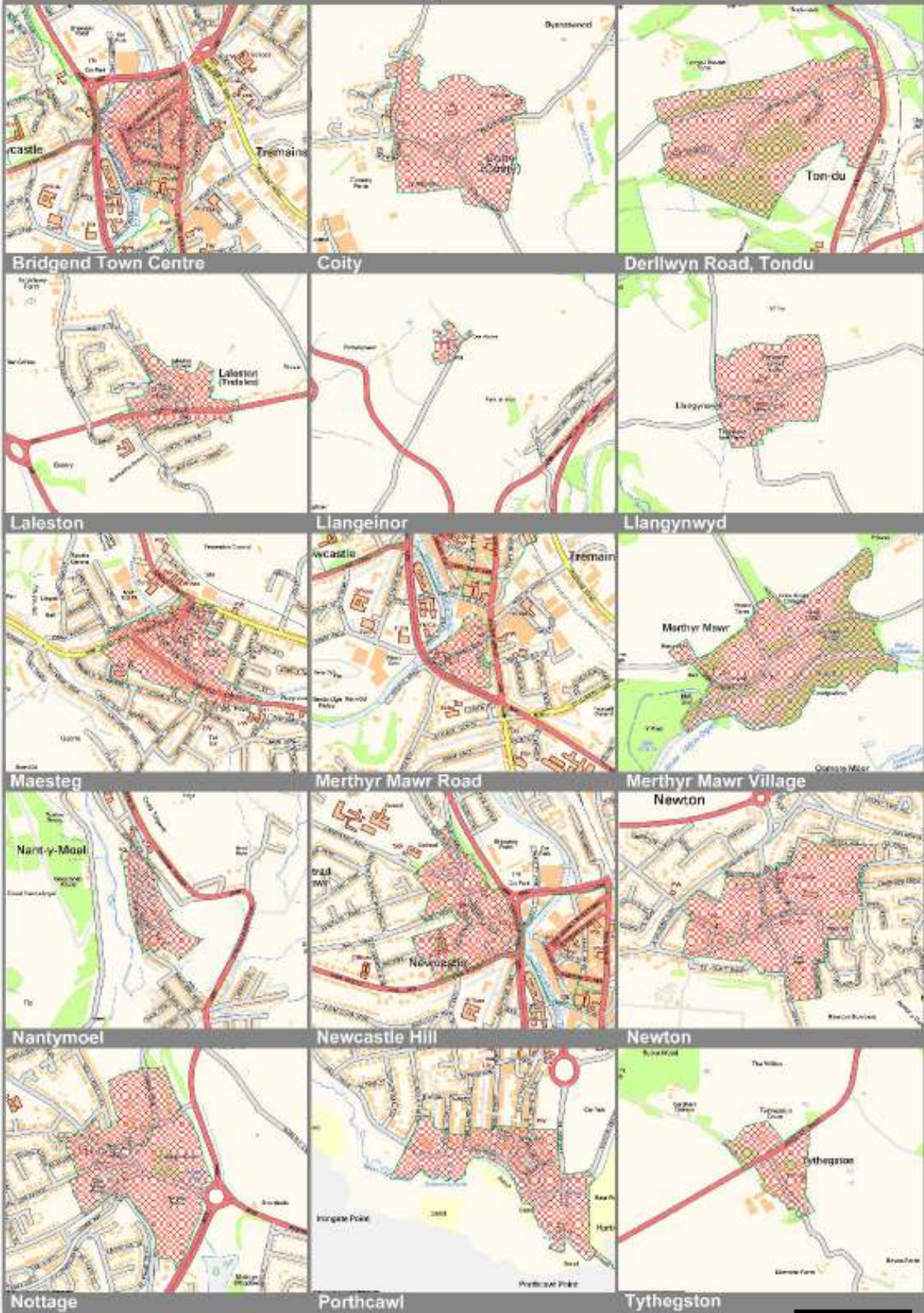




Fig. 68

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9. PLANNING APPLICATION CHECKLIST

9.1 The County Borough Council publishes a leaflet “Notes for Applicants” intended to assist the making of a planning application. The following checklist adds to those notes with particular reference to applications for house extensions. Use of the checklist to ensure the necessary details are included when the application is submitted by post or electronically via www.planningportal.gov.uk.

Fig. 69

PLANNING APPLICATION CHECKLIST		
Four copies of the completed planning application form . (Forms available from the County Borough Council Offices or the Council Website - www.bridgend.gov.uk).		
Two copies of the DESIGN STATEMENT . See section 10 for a checklist as a guide to what should be included in the design statement.		
One copy of the correct ownership certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995.		
The correct fee . (A guide to the current fee for different types of application is available from the County Borough Council Offices).		
Four copies of a location plan (not less than 1:2500 scale) showing where the application site is. The application site should be shaded or outlined in RED. Any adjoining land owned or controlled by the applicant should be shown in BLUE.		
Four copies of a site plan (not less than 1:500; scales of 1:200 or 1:100 are recommended for house extensions). This plan should show features of the site, including trees, the location of the dwelling and of the proposed extension. It should also show the location of adjoining buildings, and identify the position of habitable room windows within 21 metres of the proposed extension.		
Four copies of plans and elevations of the existing building (not less than 1:100 scale).		
Four copies of plans and elevations of the building with the proposed extension (not less than 1:100 scale: a scale of 1:50 is preferred). Details should be given of the materials and colour of external finishes of the existing building and the proposed extension. The location of the boundaries of the curtilage of the property closest to the extension must be clearly and accurately shown.		



NOTE: The applicant or his agent should sign the plans. All duplicate plans should be true copies of the originals. Plans are open to public inspection. Applicants are not, however, required to disclose any proposed security arrangements.

9.2 If a house is listed, a separate application for listed building consent will be needed for its extension. It is recommended that any proposal to extend a listed house is discussed with officers of the County Borough Council before final plans are prepared.

10. DESIGN STATEMENT CHECKLIST

10.1 Applicants for planning permission may find the following checklist of assistance in compiling the design statement that should accompany every application for planning permission for an extension.

Fig. 70

DESIGN STATEMENT CHECKLIST		
Photographs of the existing building and the context that will be affected by the extension.		
A description of the reason for the extension and the intended change in the accommodation offered by the extended dwelling.		
A description of the way in which the proposed design avoids any harmful impact on the neighbours (light, sunlight, outlook, privacy).		
A summary of discussions with neighbours.		
A description of the way in which the proposed design addresses the character of the property and its surrounding areas.		
A description of the present and proposed access and parking arrangements, or a statement that there will be no change to the present situation.		
A summary of discussions with the highways section of Bridgend County Borough Council if any changes to access and/or parking are proposed.		
A description of the measures that have been taken to minimise the risk of crime.		
A description of the way in which the proposed design achieves resource efficiency in construction.		
A description of the way in which the proposed design achieves resource efficiency in long-term energy use		

Further Reading

Author	Title	Publisher	Date
Hugh Lander	Do's and Don't of House and Cottage Restoration	Acanthus Books	1999
Valleys Built Heritage Partnership	My Valleys House (www.myvalleyshouse.org.uk)	Valleys Built Heritage Partnership	2008
Ian Rock	The Victorian House Manual	J H Haynes & Co Ltd	2005
Ian Rock	The 1930's House Manual	J H Haynes & Co Ltd	2005
Pamela Cunnington	Caring for Old Buildings	Stenlake Publishing	2002
Jane Schofield	Lime in Building	Black Dog Press	1997
Roger Hunt and Marianne Suhr	Old House Handbook: A Practical Guide to Care and Repair	Frances Lincoln Publishers	2008
Julian Owen, Paul Chilvers, David Hill	Before You Build: A Step-by-step Guide to Extensions and Renovations	RIBA Enterprises	2007
Ian Rock	Home Extension Manual: The Step-by-step Guide to Planning, Managing and Building a Project	J H Haynes & Co Ltd	2007
Ian Rock	Loft Conversion Manual	J H Haynes & Co Ltd	2008
Welsh Assembly Government	Improving Your Home – A Climate Change Guide	Welsh Assembly Government	2008
BCBC	SPG 12 Climate Neutral Development	Bridgend County Borough Council	2007
Keith Hall et al.	Green Building Bible - Fourth Edition, Volume 1.: Essential Information to Help You Make Your Home and Buildings Less Harmful to the Environment, the Community and Your Family	Green Building Press; 4th edition	2008
Keith Hall	Green Building Bible – Volume 2: In Depth Technical Information and Data on the Strategies and the Systems Needed to Create Low Energy, Green Buildings	Green Building Press; 4th edition	2008

Notes

¹ Countryside Council for Wales, Maes-y-Ffynnon, Penrhosgarnedd, Bangor, Gwynedd LL57 2DW.
Enquiry line 0845 1306229:
Website - www.ccw.gov.uk

² A habitable room is a room used or intended to be used for dwelling purposes, including a kitchen, but not any room used exclusively as a bathroom, hall, or utility room.

³ A design statement is prepared by the applicant or his agent to accompany a planning application. It explains the regard that has been paid to the need for good design, and to the policies of the local planning authority (including the relevant supplementary planning guidance), in the formulation of the development proposal.

⁴ A Certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 must accompany a planning application. The certificate is signed by the applicant or his agent and certifies either that the owner is the sole owner of the land to which the application relates or that he has notified every other owner of the land (or taken specified steps if the other owners are not known). Where part of a development overhangs neighbouring land, the applicant must serve notice on the owner of that land.

⁵ A secondary window is a smaller ancillary window to a habitable room that has a main window in another wall. It may occasionally be considered reasonable that privacy can be secured by, for example, the use of net curtains on a secondary window, although the presumption will remain that direct overlooking at less than a distance of 21 metres should be avoided.

⁶ A high level window is defined as one where the glass is no lower than 1.7 metres from the internal floor level.

⁷ Article 4 directions restricting the permitted development right to erect a gate, fence, wall or other means of enclosure are currently (2008) in place for the Maesteg town centre conservation area and the Newton conservation area.

⁸ Our Common Future', the 1987 report of the World Commission on Environment and Development.

⁹ The countryside is defined by the Bridgend Unitary Development Plan as "that area of land lying beyond settlement boundaries (the latter are defined in policies EV12, H3 and H4 and their justifying texts) and sites allocated for development in the UDP".

¹⁰ The limits set by the Town and Country Planning (General Permitted Development) Order 1995 are that the cubic content of the extended building should not exceed the cubic content of the original dwelling house: (i) in the case of a

terrace house, or house in a conservation area, by more than 50 cubic metres or 10%, whichever is the greater; (ii) in any other case by more than 70 cubic metres or 15%, whichever is the greater; (iii) in any case by more than 115 cubic metres.

¹¹ The gross residential floor area is measured externally (including the wall thickness) and is the sum of the area of each floor in the building.

¹² The original dwellinghouse is the building as first built. Extensions constructed before 1948 may be taken into account as part of the calculation of the original gross residential floor area, but extensions constructed after that date should not be so included. Post 1948 extensions are regarded as part of the 25% maximum extension to a rural dwelling.

¹³ Based on Table 1 'Characteristics of Common Trees' in SPG 07 Trees and Development , Bridgend County Borough Council, 2007

¹⁴ A protected tree is one that is subject to a Tree Preservation Order.

¹⁵ A direction made under Article 4 of the Town and Country Planning (General Permitted Development) Order 1995 removing a defined list of permitted development rights. Advice about current article 4 directions is available from the Planning Department at Bridgend County Borough Council.